

# United States Department of the Interior National Park Service National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

### 1. Name of Property

Historic name: Baywood Historic District

Other names/site number: \_\_\_\_\_

Name of related multiple property listing:

N/A

(Enter "N/A" if property is not part of a multiple property listing)

### 2. Location

Street & number: Various

City or town: San Mateo State: California County: San Mateo

Not For Publication:  Vicinity:

### 3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this    nomination    request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property    meets    does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

   national    state-wide    local

Applicable National Register Criteria:

   A    B    C    D

<b>Signature of certifying official/Title:</b>		<b>Date</b>	
_____			
<b>State or Federal agency/bureau or Tribal Government</b>			
In my opinion, the property <u>  </u> meets <u>  </u> does not meet the National Register criteria.			
<b>Signature of commenting official:</b>		<b>Date</b>	
_____			
<b>Title :</b>		<b>State or Federal agency/bureau or Tribal Government</b>	
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**4. National Park Service Certification**

I hereby certify that this property is:

- entered in the National Register
- determined eligible for the National Register
- determined not eligible for the National Register
- removed from the National Register
- other (explain:) \_\_\_\_\_

\_\_\_\_\_  
Signature of the Keeper

\_\_\_\_\_  
Date of Action

**5. Classification**

**Ownership of Property** (Check as many boxes as apply.)

- Private:
- Public – Local
- Public – State
- Public – Federal

**Category of Property**  
(Check only **one** box.)

- Building(s)
- District
- Site
- Structure
- Object

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**Number of Resources within Property**

(Do not include previously listed resources in the count)

Contributing	Noncontributing	
<u>350</u>	<u>93</u>	buildings
<u>        </u>	<u>1</u>	sites
<u>6</u>	<u>2</u>	structures
<u>        </u>	<u>        </u>	objects
<u>356</u>	<u>96</u>	total

Number of contributing resources previously listed in the National Register 0

**6. Function or Use**

**Historic Functions**

(Enter categories from instructions.)  
DOMESTIC/single dwelling  
LANDSCAPE/street furniture or object  
          
          
          
        

**Current Functions**

(Enter categories from instructions.)  
DOMESTIC/single dwelling  
LANDSCAPE/street furniture or object  
          
        

**7. Description**

**Architectural Classification**

(Enter categories from instructions.)

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LATE 19<sup>TH</sup> AND EARLY 20<sup>TH</sup> CENTURY REVIVALS

- Colonial Revival
- Classical Revival
- Tudor Revival
- Mission/Spanish Colonial Revival
- French Renaissance

MODERN MOVEMENT

- Moderne
- California/Ranch Style
- Split-Level

**Materials:** (enter categories from instructions.)  
Principal exterior materials of the property:

Foundation	Concrete
Walls	Stucco, wood cladding, masonry
Roof	Wood shake, clay tile, composition shingle
Other	Metal, timber, tile

**Narrative Description**

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

**Summary Paragraph**

The Baywood Historic District is located on the western edge of the City of San Mateo on approximately 115 acres of land that gradually slopes downward from west to east, from Avenida de las Pulgas towards downtown San Mateo and El Camino Real. The area was first platted for residential development in 1927 on former lands of the John Parrott estate, a large nineteenth century country estate that used to be typical along the Peninsula between San Francisco and San Jose. Significant population growth in Peninsula towns and cities like San Mateo in the early years of the twentieth century created the impetus for the conversion of large upper-class estates into middle- and upper-middle-class residential developments of single-family houses.

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The Baywood Historic District consists entirely of single-family residences built since 1927. Buildings constructed during the period of significance for the historic district, 1927-1949, were designed primarily in early twentieth century Revival styles – including notable examples of Spanish Colonial Revival, Tudor Revival, Colonial Revival, and Mediterranean Revival styles, as well as California Ranch, Minimal Traditional, and Split-Level types. Buildings are freestanding, with a consistent size, scale, and massing pattern, and the district features a regular pattern of setbacks from the street to create front gardens and lawns. The district is organized along curvilinear streets that reflect the early twentieth century trend in the design of residential garden suburbs of the streetcar suburb and automobile suburb types.

The Baywood Historic District retains a high level of integrity with 350 contributing buildings, six contributing structures, and ninety-six non-contributing buildings, sites, and structures, with a total of 452 total properties, representing nearly eighty percent of the properties within the neighborhood boundary.

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## **Narrative Description**

### Setting, Location, and Arrangement

The Baywood Historic District is located on the western edge of the City of San Mateo, and the northwestern edge of the historic district (Crystal Springs Road) is also the boundary between the City of San Mateo and the adjacent town of Hillsborough. The historic district lies approximately 0.3 miles southwest of El Camino Real, a historic route that originally connected the California Missions and provides an important north-south route along the San Francisco Peninsula. The historic district is largely bounded by Crystal Springs Road, Eaton Road, Virginia Avenue, Edinburgh Street, Notre Dam Avenue, and Alameda de las Pulgas. Within the historic district, parcels were laid out along gently curving roads that respond to the natural topography of the neighborhood, which increases in elevation toward its southwestern edge. Major thoroughfares through the neighborhood are oriented roughly east-west (from El Camino Real towards Alameda de las Pulgas) and concentrate through-traffic on Crystal Springs Road, Parrott Drive, and Virginia Avenue. Other groupings of roughly north-south oriented streets form smaller blocks within the historic district. Parcels are a mixture of sizes with the narrowest width of the original parcels offered at approximately fifty-three feet wide; however, the vast majority of lots are greater than sixty-five feet wide and around 120 feet deep. Parcels are generally rectangular in shape. Areas with significant elevation gain—particularly along the roughly north-south portion of Georgetown Avenue—are arranged to take advantage of the view of San Francisco Bay to the east.

The historic district's streets are consistent in character, are paved with asphalt, and are lined with sidewalks. All streets are two-way and are typically fifty feet in width, with the exception of Parrott Avenue (eighty feet), Third Avenue (seventy feet), Eaton Road (seventy feet), Harvard (sixty feet), and Georgetown (sixty feet). Electrical utilities are above-ground but are largely

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hidden from view by their placement along the interior of most blocks, where they run along the rear property lines between parcels.

The district features a variety of mature trees including Bay Laurel, Redwood, Palm, Oak, and Cypress trees, some of which predate the creation of the subdivision. Landscaping is varied in regard to planting types and landscape design, but all parcels have a consistent setback from all street frontages and have a front yard with landscaping. The presence of fencing or gates at the primary street frontage of a parcel is rare, and the district generally feels open.

### Single-Family Residences

The Baywood Historic District consists entirely of single-family residences. Only one parcel has not been built upon and appears to be used as a garden (a non-contributing site). Buildings constructed from 1927 to 1941 (prior to World War II) are typically in the Spanish Colonial Revival, Tudor Revival, Colonial Revival, Mediterranean Revival or French Provincial styles and illustrate the popular early twentieth century styles used for residential design. Some examples of other popular early twentieth century styles are also found within the district including Norman Revival, Monterey Revival, Storybook, and Dutch Colonial Revival. In the 1930s Minimal Traditional and early California Ranch style buildings began to appear in the historic district. These two styles grew in popularity through and following World War II. The Spanish Colonial Revival style is the most prevalent style within the district (with 114 contributing buildings) and encompasses both large, extravagant examples, and small, modest homes. The California Ranch and the Tudor Revival styles are the next most popular styles within the historic district, with over sixty contributing buildings in each style.

Buildings were erected throughout the district from the beginning of the subdivision, with no clear phasing as to concentrated areas of development. Specific builders often constructed a few buildings in a row on a speculative basis, such as those along the south side of Georgetown Avenue west of Harvard Road, the east side of Edinburgh Street, or small groupings of a half dozen buildings along Cornell Avenue (both sides) and the east side of Fordham Road. However, other parcels were constructed as stand-alone projects by architects, builders, or property owners. For the most part, development of the neighborhood was even throughout, and the areas where the least development occurred were limited to sections along the south side of Virginia Avenue west of Harvard Road, and the most topographically challenging areas along Georgetown Avenue and the west side of Fordham Road. The far western edge of the historic district was also slow to develop due to its further distance from downtown San Mateo and public transportation.

Construction in Baywood was rapid. While only fourteen buildings were erected in the first seven months after the establishment of Baywood, forty-one were constructed in 1928. The Great Depression slowed growth in Baywood—consistent with nation-wide trends—but growth was not halted. The year of slowest growth in the district was 1934, during the Depression, when only five residences were constructed. By the time the United States entered World War II in December 1941, 273 of the 350 residences that are contributing buildings to the historic district

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had been constructed (78 percent of contributing buildings and 61.5 percent of Baywood's parcels). Construction halted during the war years (one building was completed in 1942, none completed in 1943 and 1944) but quickly resumed following the end of the war. The historic district was mostly built out by 1949, the end of the district's period of significance.

#### Small-Scale Features

Other built elements that are located within the district include metal lampposts with glass lamp covers that are placed intermittently throughout the historic district and several landscaped medians with triangular or rectangular footprints. Most medians, with the exception of two medians at the intersection of Parrott Drive and Alameda de las Pulgas, are original to the historic district and are visible in early aerial photographs.

#### Condition and Integrity

The Baywood Historic District retains all seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. While additional development has occurred surrounding the boundaries of the historic district, that development was largely simultaneous to the development of the historic district and consists of similarly scaled single-family residences to the north, west, and south. Buildings within the district have been well-maintained, are largely unaltered, and the majority of their original design elements remain intact. The proportion of non-contributing buildings remains low, at 21.2 percent, and while these properties generally have been altered or constructed since the end of the period of significance, non-contributors have remained consistent with the massing, scale, and setback of the original buildings, and the feeling of the historic district remains that of an early to mid-twentieth century residential park. The district retains the cohesive quality of its design and organization with its gently curving roads and single-family residences in Revival and Modern styles popular in the 1920s through the late 1940s.

#### Architectural Descriptions of Site Features and Buildings

The following descriptions are organized with site features and then buildings. Building descriptions are organized alphabetically by street name and then street number. Data included in the building descriptions consist of date of construction, type, architectural style, basic form, roof type and material, and cladding material. Garages (both attached/integral and detached/freestanding) are noted. If a building has been altered, alterations are listed based primarily on field observations made by the preparers of this nomination; in some cases of significant alterations, dates of alterations are included if known. Having some alterations does not make a building a non-contributor. Buildings are determined to be non-contributors if they were constructed after the end of the period of significance or have been significantly altered, such as instances where alterations have caused significant changes to character-defining features and cause a significant loss of integrity. Some buildings that have been renovated in recent years have retained their general style, and overall massing and form, and continue to contribute to the streetscape. They are therefore still considered contributors to the historic district.

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With some exceptions, building permit records for each residence were not reviewed. Therefore, listed alterations are based on observations made by the preparers of this nomination while completing the field survey. In some cases, a comparison with early photographs (when available) and a review of Google Street View images allowed for the listing of a more thorough alteration history. Where known, original architects, builders, and/or owners are noted.

**INDIVIDUAL RESOURCE DESCRIPTIONS**

**Buildings and Parcels (350 Contributors, 9 Non-Contributors)**

Alameda de las Pulgas

- |    |                            |               |                         |      |
|----|----------------------------|---------------|-------------------------|------|
| 1. | 201 Alameda de las Pulgas  | APN: 34022010 | Contributor             | 1941 |
|    | Architect: G. Miller       |               | Builder: Allan McIntyre |      |
|    | Original Owner: S. Jurkell |               |                         |      |

Split-level, wood-frame, single-family residence clad in stucco. The building does not demonstrate a particular style. It has a rectangular footprint and a primary hip roof with secondary flat roof forms. Details include a wood panel front door with sidelights; a circular awning over the recessed entry porch; wood shutters; and an integral two-car garage. Alterations include: replacement windows and front door, one- and two-story additions to the rear façade.

- |    |                           |               |                               |      |
|----|---------------------------|---------------|-------------------------------|------|
| 2. | 401 Alameda de las Pulgas | APN: 34063010 | Contributor                   | 1947 |
|    | Builder: Paul R. Cleverly |               | Original Owner: Leo Karlhofer |      |

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco. It has a rectangular footprint and a cross-gable roof. Details include square porch posts with curved brackets, a barge-style cupola at the roof peak; multi-lite windows, wood shutters; and an integral basement-level two-car garage. Alterations include: replacement wood shutters.

- |    |                           |               |             |      |
|----|---------------------------|---------------|-------------|------|
| 3. | 415 Alameda de las Pulgas | APN: 34063160 | Contributor | 1937 |
|----|---------------------------|---------------|-------------|------|

Split-level, wood-frame, California Ranch, single-family residence clad in stucco. It has a rectangular footprint and a hip roof. Details include a wood balcony over the integral two-car garage; French doors and a recessed entry porch. Alterations include: replacement windows, roof material, and garage door.

- |    |                           |               |             |      |
|----|---------------------------|---------------|-------------|------|
| 4. | 519 Alameda de las Pulgas | APN: 34064120 | Contributor | 1949 |
|----|---------------------------|---------------|-------------|------|

One-story-over basement, wood-frame, California Ranch, single-family residence clad in stucco and horizontal v-groove wood siding. It has a rectangular footprint and a hip roof. Details

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include a wood multi-lite front door; and an integral basement-level two-car garage facing Nevada Avenue. Alterations include: replacement windows and garage door.

5. 611 Alameda de las Pulgas APN: 34065090 Non-Contributor 1950

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco with brick bulkheads. It has a generally L-shaped footprint with a hip roof. Details include an external brick chimney; a wrought iron planter over an integral two-car garage; and embellished paired metal porch posts. Alterations include: replacement windows and doors. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

6. 619 Alameda de las Pulgas APN: 34065080 Non-Contributor 1963

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco. It has a generally L-shaped footprint with a hip roof. Details include a scalloped asphalt tile roof; an external brick chimney; a wood front door with sidelights; and an integral basement-level two-car garage facing Kentucky Avenue. Alterations include: replacement windows and doors. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

Amherst Avenue

7. 206 Amherst Avenue APN: 34081010 Contributor 1941

Two-story, wood-frame, Eclectic/Tudor Revival, single-family residence clad in horizontal wood siding in gable end and stucco elsewhere. It has an L-shaped footprint with a cross-gable roof. Details include a wood shake roof; an external brick chimney; fascia boards; exposed rafter tails; louver vents in gable end; half-timbering; a portico with wood railings; and multi-lite windows. Alterations include: replacement windows, front door, and garage door.

8. 209 Amherst Avenue APN: 34082140 Contributor 1936

Two-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco chimney; terra cotta vents in gable end; and multi-lite windows. Related features include a

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low stucco wall enclosing part of the front yard and the front patio and a detached garage. Alterations include: replacement windows and a second-story addition to the southeast facade.

9. 210 Amherst Avenue APN: 34081020 Contributor 1936

Two-story, wood-frame, Colonial Revival, single-family residence clad in stucco. It has a square footprint with a cross-gable roof. Details include two external brick chimneys; a molded wood cornice; a wood panel door with a molded wood surrounds and fan-shaped molding above; multi-lite windows; wood shutters; and bay windows flanking entrance with brick hulkheads and standing seam metal roofs. Related features include a detached two-car garage at the rear of the parcel and a circular brick pathway connecting the entrance to the sidewalk. Alterations include: replacement windows.

10. 215 Amherst Avenue APN: 34082130 Contributor 1935

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a square footprint with hip and gable roof forms. Details include an external brick chimney; half-timbering; an inset dormer window with a scalloped barge board; a covered entry porch with square wood columns, curved wood brackets and scalloped accents; multi-lite windows; and wood shutters. Alterations include: no major alterations.

11. 216 Amherst Avenue APN: 34081030 Contributor 1940

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal drop-wood siding. It has an irregular footprint with a cross-gable roof. Details include an external stucco chimney; an external brick chimney; a wood panel door within molded wood pilasters and a pediment; a molded wood cornice beneath wall dormer windows; multi-lite windows; and wood shutters. Alterations include: replacement garage door.

12. 220 Amherst Avenue APN: 34081040 Contributor 1935

Two-story, wood-frame, Monterey Revival, single-family residence clad in stucco. It has an irregular footprint with a gable roof. Details include an external brick chimney; wood molding on gable ends; a second-story wood balcony supported by decorative wood brackets extending across the length of the primary façade with wood railings, exposed rafter tails, and square posts; french doors on first and second story; wood panel door within recessed entryway with molded

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stucco surrounds; and wood shutters. Related features include a detached garage. Alterations include: replacement front door and some windows.

13. 223 Amherst Avenue APN: 34082120 Contributor 1936

One-and-a-half-story, wood-frame, single-family residence clad in stucco. The building does not display a particular style. It has an irregular footprint with a steeply pitched hip roof. Details include dormer windows; a recessed entry under a covered porch with a standing seam metal roof; multi-lite windows; and wood shutters. Alterations include: renovation ca. 2015, replacement of windows, doors, cladding, and roof materials, alter a covered entry porch.

14. 226 Amherst Avenue APN: 34081050 Contributor 1933

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include an external stucco chimney; exposed rafter tails; half-timbering and molded wood brackets in gable end; square porch posts with curved braces; molded stucco brackets flanking garage doors; multi-lite windows; and diamond-lite leaded glass windows. Alterations include: no major alterations.

15. 229 Amherst Avenue APN: 34082110 Contributor 1935

Two-story, wood-frame, Minimal Traditional/Monterey Revival, single-family residence clad in v-groove wood siding at the second story and brick at the first story. It has an irregular footprint with a hip roof. Details include a wood shake roof; an external brick chimney; a second-story balcony with square wood posts and railings; French doors; multi-lite windows; wood shutters; and an integral two-car garage. Alterations include: no major alterations.

16. 230 Amherst Avenue APN: 34081060 Contributor 1939

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include an external brick chimney; half-timbering, carved wood crossbeam and brackets over garage doors; and multi-lite windows. Alterations include: replacement windows and front door.

17. 235 Amherst Avenue APN: 34082100 Contributor 1935

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a steeply pitched hip roof and secondary gable roof forms. Details include a wood shake roof; an external stucco chimney with brick decoration; half-timbering;

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recessed arched entry with brick trim within a protruding first-story gable end; an integral one-car garage; and multi-lite windows. Alterations include: no major alterations.

18. 236 Amherst Avenue APN: 34081070 Contributor 1930

One-story-over-garage-and-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an L-shaped footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; a balcony with turned wood posts over garage door; side-facing entrance door at a covered porch with wood brackets and cross-bram; and multi-lite windows. Alterations include: replacement windows, stucco sidewalk of balcony replaced with metal railings.

19. 242 Amherst Avenue APN: 34081080 Non-Contributor 1950

One-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external roman rustic brick chimney; and roman rustic brick planters and water tables. Alterations include: replacement windows and garage door. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

20. 243 Amherst Avenue APN: 34081090 Contributor 1931

Split-level, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms with flared elements. Details include a wood shake roof; an external brick chimney; exposed rafter tails; half-timbering; a bay window with a standing seam metal roof; a wood entry door; an arched recessed entryway; a circular wood louver vent in gable end; multi-lite windows; wood shutters; and an integral one-car garage. Alterations include: no major alterations.

Cornell Avenue

21. 435 Cornell Avenue APN: 34031050 Non-Contributor 1953

Two-story, wood-frame, Eclectic/Italian Renaissance, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external stucco chimney; faux-stone quoins; copper gutters; stone columns and pediment over entryway; a wood front door with sidelights; arched casement windows; arched French doors; and an attached two-car garage

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facing Irving Street. Alterations include: replacement doors. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

22. 437 Cornell Avenue APN: 34032050 Non-Contributor 1937

Two-story, wood-frame, Contemporary, single-family residence clad in stucco. It has an irregular footprint with a gable roof. Details include multi-lite windows; and an integral one-car garage facing Irving Street. The building is a non-contributor to the Baywood Historic District because it has been drastically altered, including: extensive replacement of cladding, windows, and doors, and additions to primary facade.

23. 445 Cornell Avenue APN: 34032040 Contributor 1936  
Architect: Williams & Grimes Original Owner: J.K. Johnson

Two-story, wood-frame, Colonial Revival, single-family residence clad in wood clapboard siding. It has a rectangular footprint with a gable roof. Details include an external brick chimney; a symmetrical arrangement of openings at the primary facade; wood shutters; an ornate entry with a wood paneled door with small round-arched glazing and a polygonal multi-lite transom; door enframements including fluted pilasters and dentils with a pediment open at the bottom; double doors and wood shutters at the first story have paneled wood sections matching primary entrance door's cross-bracing pattern and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no major alterations.

24. 446 Cornell Avenue APN: 34031040 Contributor 1938  
Architect: L.J. Sharps Original Owner: E. A. Olund  
Builder: Lensfeld & Grund

Two-story, wood-frame, French Provincial, single-family residence clad in brick at the first story, vertical wood siding at the second story and stucco elsewhere. It has a rectangular footprint with a hip roof. Details include an external brick chimney; an internal stucco chimney; arched dormer vents with louvers; a recessed entry with brick quoining and a flared standing-seam metal roof; multi-lite windows; and a wood panel bandcourse and wood shutters at the first story. Related features include a low brick wall extending from the southwest facade to the property line with brick posts and metal railings and door. Alterations include: a two-story addition with an integral two-car garage, and replacement windows.

25. 451 Cornell Avenue APN: 34032030 Non-Contributor 1937

Split-level, wood-frame, single-family residence clad in stucco. The building does not demonstrate a particular style. It has a generally rectangular footprint with a gable roof. Details include a front porch with stone posts; louver vents in the primary gable end; and an integral two-car garage. The building is a non-contributor to the Baywood Historic District because it has

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been drastically altered, including: replacement windows; doors; altered porch, and two-story additions to the rear.

26. 456 Cornell Avenue APN: 34031030 Contributor 1939  
Original Owner: W. C. Keil

Split-Level, wood-frame, California Ranch, single-family residence clad in stucco with brick water tables. It has a rectangular footprint with hip and gable roof forms. Details include an external brick chimney; exposed rafter tails; square porch posts; multi-lite windows; wood shutters; and an integral two-car garage. Alterations include: replacement garage door and front door.

27. 459 Cornell Avenue APN: 34032020 Contributor 1928  
Architect: Grimes & Scott Original Owner: A.M. Schulte

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in wood clapboard siding. It has a generally square footprint with a hip roof. Details include a clay tile roof; an external brick chimney; exposed carved rafter tails; wood-frame multi-lite windows; wood shutters; a large entry enframingent with shaped stucco decoration leading to a second-story window with a wrought-iron grille; rounded arched windows at a portion of the first story; and a second-story covered porch with wood posts, brackets, and railings. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

28. 460 Cornell Avenue APN: 34031020 Contributor 1928  
Architect: Grimes & Scott Builder/Owner: George Brothers

Two-story, wood-frame, Tudor Revival and French Provincial, single-family residence clad in stucco. It has an L-shaped footprint with a hip roof. Details include a wood shake roof; half-timbering; stucco quoining; wood panel door within recessed entryway with timber-frame surround; French doors; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel, facing Crystal Springs Road. Alterations include no major alterations.

29. 464 Cornell Avenue APN: 34031010 Contributor 1928  
Architect: Grimes & Scott Builder: George Brothers

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a rectangular footprint with cross-gable and hip roof forms. Details include an external stucco chimney; exposed rafter tails; half-timbering; primary gable with decorative jerkinhead roof feature; a wood door within an arched recess; rustic horizontal siding in the primary gable; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear

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of the parcel, facing Crystal Springs Road. Alterations include: replacement windows and wood shutters.

30. 465 Cornell Avenue APN: 34032010 Contributor 1933

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco and horizontal wood clapboard siding. It has a generally square footprint with a cross-gable roof. Details include an external brick chimney with a brick hood; dormer windows; an entryway within a covered porch; stucco quoins at entry porch corners; leaded glass windows, and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no major alterations.

31. 501 Cornell Avenue APN: 34023070 Contributor 1929  
Builder: H.H. MacDonald Original Owner: David Houle

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a wood entry door with a metal grille over glazing within a brick archway; multi-lite windows; wood shutters; and an attached two-car garage. Related features include a wood garden door within a sidewall extending northeast from the primary façade to the property line. Alterations include: replacement windows.

32. 502 Cornell Avenue APN: 34022060 Contributor 1927  
Architect: Grimes & Scott Builder: George Brothers  
Original owner: S. S. Webster

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally square footprint with a cross-gable roof. Details include a clay tile roof; an internal stucco chimney with a clay tile hood; terra cotta vents in gable ends; exposed rafter tails; multi-lite windows; arched French doors; circular window with grille; brackets under second story overhang; and planter boxes behind grille with casement window. Related features include a detached two-car garage at the rear of the parcel, facing Crystal Springs Road. Alterations include: replacement windows.

33. 505 Cornell Avenue APN: 34023060 Contributor 1930

Two story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include half-timbering near the primary entryway; multi-lite windows, wood planter boxes, an angled bay window within the front gable; a wood entry door within a covered entry porch with wood posts; and an integral one-car garage.

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Related features include a wood garden door within a sidewall extending southwest from the primary façade to the property line. Alterations include: some window replacements.

34. 507 Cornell Avenue APN: 34023050 Contributor 1929  
Builder: Kappeler Bros. Original Owner: David Houle

Two story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross- roof. Details include a stucco and brick external chimney; wood brackets at gable ends; stucco quoining; leaded diamond-lite glass on front windows; entry door located within central courtyard with side-facing gable; scored ashlar surrounds at entry opening; and an attached two-car garage. Alterations include: some window replacements.

35. 510 Cornell Avenue APN: 34022050 Contributor 1928  
Architect: Grimes & Scott Builder/Owner: George Brothers

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a T-shaped footprint with cross-gable and hip roof forms. Details include a wood shake roof; fascia boards; exposed rafter tails; terra cotta vents in gable ends; a recessed entryway set within a Two-story turret with a circular wood vent; half-timbering; multi-lite windows; leaded divided-lite windows; French doors; a balconette over primary entryway; and wood shutters. Related features include a detached two-car garage at the rear of the parcel, facing Crystal Springs Road. Alterations include: two-story addition to the northeast side of the primary façade including gable end with finial.

36. 514 Cornell Avenue APN: 34022040 Contributor 1928  
Architect: Grimes & Scott Builder: George Brothers

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an L-shaped footprint with a cross-gable roof. Details include a clay tile roof; an internal stucco chimney; molded stucco embellishments at windows on the primary façade; wood lintels. Related features include a detached two-car garage at the rear of the parcel, facing Crystal Springs Road, and a low stucco wall enclosing the front yard with a wood gate. Alterations include no major alterations.

37. 519 Cornell Avenue APN: 34023040 Contributor 1941

Split-Level, wood-frame, California Ranch, single-family residence clad in stucco. It has a U-shaped footprint with a hip roof. Details include a covered entry porch with a standing seam metal roof and square wood posts; an integral garage with a wood balconette at the second story;

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multi-lite windows; wood shutters; and an integral two-car garage. Alterations include: window replacements, addition at rear.

38. 520 Cornell Avenue APN: 34022030 Contributor 1949

One-Story, wood-frame, California Ranch, single-family residence clad in stucco with brick water tables. It has an irregular footprint and a hip roof. Details include: exposed rafter tails; and a wood panel door with sidelights within a recessed entry and covered entry porch. Alterations include: garage converted to interior living space, replacement window.

39. 525 Cornell Avenue APN: 34023030 Non-Contributor 1937

Two-story, wood-frame, Contemporary/Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof. Details include: a classically detailed entry portico with columns and pediment; French doors at the first floor with attached column surrounds; a balconette above the attached two-car garage at the second story; multi-lite windows; and wood shutters. The building is a non-contributor to the Baywood Historic District because it has been drastically altered, including: cladding and windows replaced, and addition at the second story.

40. 526 Cornell Avenue APN: 34023020 Contributor 1948

One-Story, wood-frame, California Ranch, single-family residence clad in stucco with brick water tables. It has a generally rectangular footprint with a gable roof. Details include an external brick chimney; a partially glazed wood panel door with sidelights within a partially enclosed porch with square posts; multi-lite windows; wood shutters; and an integral two-car garage. Alterations include: replacement windows.

41. 531 Cornell Avenue APN: 34023020 Contributor 1936

Two-story, wood-frame, single-family residence clad in stucco. The building does not demonstrate a particular style. It has an irregular footprint with gable and hip roof forms. Details include a brick and stucco external chimney; a second story balcony over the entryway; a wood plank door with a grille over lite; horizontal wood siding within gable end over the garage; multi-lite windows; wood shutters; and an integral two-car garage. Alterations include: replacement windows.

42. 539 Cornell Avenue APN: 34023010 Non-Contributor 1951  
Builder: Harry Kime & Son Original Owner: A. Stevens

Two-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with gable and hip roof forms. Details include a covered entry porch; wood

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shutters; and an attached two-car garage facing Alameda de las Pulgas. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

Crystal Springs Road

43. 321 Crystal Springs Road APN: 34082150 Non-Contributor 1953

One-story, wood-frame, California Ranch, single-family residence clad in stucco with brick water tables at a central projecting mass. It has an irregular footprint with a hip roof. Details include an external brick chimney and attached garage with a second-story addition. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

Eaton Road

44. 221 Eaton Road APN: 34085060 Contributor 1941  
Architect: L. J. Sharps Original Owner: Bradford Melvin  
Builder: R. A. White

Two story, wood-frame, French Provincial, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external brick chimney; stucco quoining; stucco keystones over both one-car garage doors on attached garage; wrought-iron Balconettes; and wood shutters. Related features include shoulder-height brick wall with a metal gate enclosing entrance at the southeast end of primary façade. Alterations include: replacement windows.

45. 235 Eaton Road APN: 34085050 Contributor 1937  
Architect: Angus McSweeney Original Owner: Lincoln Wilson  
Builder: J. B. Oswald

Two story, wood-frame, Colonial Revival, single-family residence clad in brick at the first story of the primary façade, and horizontal wood lap siding elsewhere. It has an irregular footprint with a gable roof. Details include an external brick chimney; a recessed entryway with classical

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surrounds and a broken pediment; an attached two-car garage; multi-lite windows; and wood shutters. Alterations include: no known alterations.

46. 245 Eaton Road APN: 34085040 Contributor 1946  
Architect: O.H. Deichmann Original Owner: J.H. Price

One story, wood-frame, California Ranch, single-family residence clad in brick. It has an irregular footprint with a cross-gable roof. Details include an interior brick chimney; a protruding square roof vent over the attached two-car garage; exposed rafter tails; a wood pane door with opaque glass block sidelights; multi-lite windows; and wood shutters. Alterations include: no known alterations.

47. 251 Eaton Road APN: 34085130 Contributor 1940

One story, wood-frame, French Provincial, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an integral stucco chimney; stucco quoining; arched dormer vents with louvers; multi-lite windows; arched dormer window over integral two-car garage. Alterations include: no known alterations.

48. 259 Eaton Road APN: 34085140 Contributor 1947

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof. Details include a brick entry porch with paired square wood posts; an integral two-car garage; and wood shutters. Alterations include: replacement windows and doors.

49. 267 Eaton Road APN: 34085010 Non-Contributor 1951

One-story, wood-frame, California Ranch, single-family residence clad in brick on its south façade and stucco elsewhere. It has a generally rectangular footprint with a hip roof. Details include an external brick chimney; a bay window north of the primary entry; a recessed entry way; and wood shutters. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

Edinburgh Street

50. 505 Edinburgh Street APN: 34111180 Contributor 1934

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an L-shaped footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; wood lintels with canted ends; wrought-iron features; rustic brick on primary façade

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that forms attached low wall; multi-lite windows; and a partially attached one-car garage. Alterations include: altered windows.

51. 509 Edinburgh Street APN: 34111170 Contributor 1928

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; wood elements including porch posts and cross beams; decorative metal grilles; various porches and balconies; wood beam front door with round arched top and wrought-iron window grille. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and roof material.

52. 515 Edinburgh Street APN: 34111160 Contributor 1928

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney with a clay tile hood; a covered second-story balcony with wood posts, railings, and support beams; and multi-lite windows. Related features include a low stucco wall enclosing the front patio and a detached one-car garage at the rear of the parcel. Alterations include: replacement windows and doors.

53. 521 Edinburgh Street APN: 34111150 Contributor 1928

Two-story, wood-frame, Contemporary Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; terra cotta vents in gable ends; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and doors, contemporary awning over front entrance.

54. 522 Edinburgh Street APN: 34104020 Contributor 1935

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal lap siding at the first story, and horizontal lap siding and stucco at the second story. It has a rectangular footprint with a gable roof. Details include an external brick chimney; a centrally located wall dormer; a flared awning with scalloped embellishments over the wood panel recessed entry and wood panel door; multi-lite windows; and wood shutters. Related features include a low brick retaining wall along the sidewalk and driveway, and a partially attached two-car garage at the rear of the parcel. Alterations include: replacement door.

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55. 527 Edinburgh Street APN: 34111140 Contributor 1926

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with gable and hip roof forms. Details include a clay tile roof; an external stucco chimney with a clay tile hood; a two-story round tower with a recessed entry door in an arched opening at the first story; wrought-iron window grille over a round window; a large arched window at primary façade; and multi-lite windows. Related features include a low stucco wall enclosing the front patio with terra cotta floor tiles and a detached garage at the rear of the parcel. Alterations include: no known alterations.

56. 528 Edinburgh Street APN: 34104030 Contributor 1930

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a steeply pitched cross-gable roof. Details include a wood shake roof; an external stucco chimney; half-timbering; multi-lite windows; wood shutters; and an integral two-car garage. Alterations include: no known alterations.

57. 533 Edinburgh Street APN: 34111130 Contributor 1930

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; clay tile vents; colored tiles around large front window, on primary façade and on steps at side; and an attached one-car garage. Related features include a low stucco wall enclosing the front patio and shaped to connect with the wall closest to the street and with terra cotta floor tiles. Alterations include: replacement windows.

58. 534 Edinburgh Street APN: 34104040 Contributor 1932

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof. Details include a clay tile roof; an external stucco chimney with terra cotta vents; terra cotta vents in gable ends; porch columns; a wrought iron balustrade; decorative floor tiles at the entry stairs; and a circular window with a wrought iron grille at the second story. Related features include a detached one-car garage at the rear of the parcel. Alterations include: replacement windows and doors.

59. 539 Edinburgh Street APN: 34111120 Contributor 1928

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally square footprint with hip and gable roof forms. Details include a clay tile roof; a prominent second-story balcony with wood posts, railings, and support beams; scored surround to resemble stone with decorative keystone and recessed wood paneled entry door with stone

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steps featuring colored tile on risers. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and modern light fixtures.

60. 540 Edinburgh Street APN: 34104050 Contributor 1933  
Architect: Topeke & Hinterman Builder: H. H. Larsen Company  
Original Owner: Ernest C. Pierre

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an L-shaped footprint with a hip roof. Details include a clay tile roof; arched windows at the south half of the primary façade; decorative tile accents; a large square stucco porch support at the entryway; and a wrought iron balconette with French doors over an integral two-car garage. Alterations include: replacement windows and front door.

61. 545 Edinburgh Street APN: 34111110 Contributor 1928  
Builder: Lengfeld & Olund

Split-level, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an L-shaped footprint with steeply pitched hip and gable roof forms. Details include a stucco external chimney; exposed rafter tails; half-timbering and a small jerkinhead detail in the gable end of the primary façade; a timber cross beam with purling over integral two-car garage; a recessed primary entrance with a wood paneled entry door. Alterations include: replacement windows and non-original tile at entry steps.

62. 546 Edinburgh Street APN: 34104060 Contributor 1933  
Architect: A. J. Laubet Builder: Lengfeld & Olund  
Original Owner: A. J. Laquette

One-story, wood-frame, California Ranch, single-family residence clad in brick and stucco. It has a U-shaped footprint with gable and hip roof forms. Details include an external brick chimney; exposed rafter tails; a recessed entryway; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

63. 551 Edinburgh Street APN: 34111100 Contributor 1929  
Builder: Lengfeld & Olund

One-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an L-shaped footprint with a cross-gable roof. Details include nested gables; half-timbering; and a wood plank door with a low arched top. Related features include a detached two-car garage in front of the main building, forming a courtyard at the interior of the L-shaped footprint. Alterations include: non-original bubble skylight over entry.

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64. 552 Edinburgh Street APN: 34104070 Contributor 1930  
Architect: Marie Corbett Builder: R. A. White  
Original Owner: C. A. Thulender

Two-story, wood-frame, Tudor Revival, single-family residence clad stucco. It has an irregular footprint with a hip roof. Details include a wood shake roof; an external stucco and brick chimney; half-timbering; an arched entry recess; horizontal rustic wood siding in gable end flanking chimney; multi-lite windows; leaded windows; and copper gutters. Related features include a detached accessory building at the rear of the parcel. Alterations include: replacement windows.

65. 557 Edinburgh Street APN: 34111090 Contributor 1930

One-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include wood siding and vents in gable ends. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

66. 558 Edinburgh Street APN: 34104080 Contributor 1930  
Builder: Oscar N. & R. C. Mitchell

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad stucco. It has a generally rectangular footprint with hip and gable roof forms. Details include a clay tile roof; stucco arched moldings and brackets on primary façade; and French doors. Related features include a detached accessory building at the rear of the parcel. Alterations include: replacement windows and doors, and a non-original portico.

67. 563 Edinburgh Street APN: 34111080 Contributor 1928  
Builder: Lengfer & Olund

One-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a steeply pitched hip roof and secondary gable roof form. Details include half-timbering; and a recessed entry door. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and door.

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68. 564 Edinburgh Street APN: 34104090 Non-Contributor Ca. 2023

Building under construction at the time of survey. The building is a non-contributor to the Baywood Historic District because it will be completed after the period of significance.

69. 600 Edinburgh Street APN: 34104100 Contributor 1939

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has an irregular footprint with gable and hip roof forms. Details include an external brick chimney; exposed rafter tails; square porch posts; shaped wood features in millions; wood shutters; and a metal balconette over an integral two-car garage. Alterations include: replacement front door and patio floor material.

70. 603 Edinburgh Street APN: 34111070 Contributor 1929

One-and-a-half story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include half-timbering; louvered vents in gable ends; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and doors, and a non-original water table.

71. 609 Edinburgh Street APN: 34111060 Contributor 1928

One-and-a-half story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a steeply pitched cross-gable roof. Details include half-timbering; a flared and scalloped metal awning over large front window; a small covered entry porch with a brick floor, sidewalk, and wood posts; and a wood panel door with decorative hardware. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

72. 610 Edinburgh Street APN: 34104110 Contributor 1932

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external brick chimney; a circular turret protruding above primary entrance; an arched wood front door; and an arched arcade at the primary entryway. Alterations include: replacement windows and doors.

73. 615 Edinburgh Street APN: 34111050 Non-Contributor 1952

One-story, wood-frame, California Ranch, single-family residence clad in brick, stucco, and lapped wood siding. It has an irregular footprint with a hip roof. Details include an external brick chimney; central entryway with sidelights and wood door; a large window grouping with a steel

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sash; and a prominent integral two-car garage. Alterations include: replacement garage door. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

74. 620 Edinburgh Street APN: 34104120 Contributor 1948

One-story, wood-frame, California Ranch, single-family residence clad in brick and horizontal scored stucco. It has an irregular footprint with a cross-gable roof. Details include an external brick chimney; a bay window south of the primary entrance; and wood shutters. Alterations include: replacement windows and doors.

75. 621 Edinburgh Street APN: 34111040 Non-Contributor 1952

One-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external brick chimney; a central entryway with sidelights and a wood door; a large window grouping south of the entrance; and a prominent integral two-car garage. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

76. 631 Edinburgh Street APN: 34111030 Non-Contributor 1950

One-story, wood-frame, Eclectic/California Ranch, single-family residence clad in brick, board and batten, and horizontal wood siding. It has a U-shaped footprint with a hip roof. Details include a wood shake roof; an external brick chimney; a central entryway; wood shutters; and an integrated two-car garage with original wood garage door. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

77. 703 Edinburgh Street APN: 34111020 Contributor 1937

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include half-timbering; dormer windows; primary entrance within gabled entry vestibule; and an integral one-car garage. Related features include a low wall enclosing the front patio. Alterations include: replacement windows.

78. 709 Edinburgh Street APN: 34111010 Contributor 1941

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal wood lap siding. It has an L-shaped footprint with a cross-gable roof. Details include two external brick chimneys; symmetrical openings at the primary façade; a recessed main entry with sidelights

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within door enframing with pilasters; wood shutters; and an integral two-car garage. Alterations include: replacement windows, non-original skylight, and solar panels.

Fairfax Avenue

79. 301 Fairfax Avenue APN: 34083080 Contributor 1933  
Architect: Chester H. Treichel Builder/Owner: Chester A. Dietz

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof. Details include a wood shake roof; an external eclectic-brick chimney at the primary façade; timber bracing; and a recessed entry within a heavy timber framed opening with a decorative carved top beam. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

80. 335 Fairfax Avenue APN: 34083070 Contributor 1927  
Builder/Owner: J.B. Oswald

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a steeply pitched cross-gable roof. Details include an internal brick chimney; an arched recessed entryway with an arched wood door; multi-lite windows; and leaded glass windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement dormer windows, and garage door replaced with French doors.

81. 342 Fairfax Avenue APN: 34082170 Non-Contributor 1974

Two-story, wood-frame, Late Modern, single-family residence clad in stucco. It has an irregular footprint with a gable roof. Details include wood shake roof; a covered balcony at the second floor; an arcaded first floor; and an integral two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

82. 344 Fairfax Avenue APN: 34082160 Contributor 1933  
Architect: Chester H. Treichel Builder/Owner: Chester A. Dietz

One-and-a-half-Story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; an external brick chimney with a brick hood; exposed rafter tails; carved rafter tails at the first floor; a recessed entry with shaped side walls; wrought-iron brackets, lamps, and planter boxes;

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and wood shutters. Related features include a detached two-car garage at the rear of the parcel, accessed via a driveway connected to Franklin Street. Alterations include: no known alterations.

83. 345 Fairfax Avenue APN: 34083060 Contributor 1936  
Architect: Chester H. Treichel Builder/Owner: E.H. Carlson

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; an external brick chimney; carved rafter tails under wide eaves; and an integral one-car garage. Alterations include: no known alterations.

84. 350 Fairfax Avenue APN: 34082080 Contributor 1940

One-and-a-half-Story, wood-frame, Tudor Revival, single-family residence clad in stucco and brick. It has a generally rectangular footprint with a steeply pitched hip roof. Details include a wood shake roof; an interior brick chimney; dormer windows; half-timbering; a wood plank door with leaded glass lite; multi-lite windows; and leaded glass windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

85. 351 Fairfax Avenue APN: 34083050 Contributor 1933  
Architect: W. C. F. Gillisen Original Owner: F. Finneran

Two-story, wood-frame, Storybook, single-family residence clad in stucco. It has an irregular footprint with a steeply pitched cross-gable and hip roof. Details include an external brick chimney; horizontal wood siding in the gable end; and dormer windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

86. 359 Fairfax Avenue APN: 34083040 Contributor 1936  
Architect: Ed M. Sharpe Builder/Owner: J.B. Oswald

Two-story, wood-frame, Dutch Colonial Revival, single-family residence clad with wood shake at the gambrel roof at the second story and stucco elsewhere. It has a rectangular footprint with a gable roof. Details include symmetrical massing; inset dormer windows; a central entrance with an accessed entry door and leaded glass transom with surround with pediments; multi-lite windows, and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

87. 365 Fairfax Avenue APN: 34083030 Contributor 1928  
Designer/Builder: J.B. Oswald Original Owner: Ed E. Bauers

One-Story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external brick

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chimney; a recessed entryway within a central turret; stucco planters; and arched multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: a wrought iron door at the entryway, and a pergola at the side façade.

88. 371 Fairfax Avenue APN: 34083020 Contributor 1935  
Builder: William F. Klay Original Owner: J. Welch

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include an asymmetrical form with jerkinheads in gable end over integral two-car garage; an external brick and stone chimney; and half-timbering. Alterations include: replacement windows and roof material.

89. 374 Fairfax Avenue APN: 34081090 Contributor 1935  
Architect: Angus McSweeney Original Owner: E.R. Fox

Two-story, wood-frame, Storybook and Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with hip and gable roof forms. Details include a wood shake roof; an external stucco clad chimney; exposed rafter tails; half-timbering; a covered entry porch with wood posts and wood entry door; multi-lite windows; and an integral one-car garage. Alterations include: replacement windows.

90. 411 Fairfax Avenue APN: 34033110 Contributor 1930  
Builder/Owner: Lengfeld & O'Rand

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an L-shaped footprint with hip and gable roof forms. Details include a clay tile roof; an internal stucco chimney with brick detailing; exposed rafter tails; terra cotta vents at crawlspace and in gable ends; unusual polygonal windows at the second story; a wrought iron grille over circular window at the first story; and multi-lite windows. Related features include a low stucco wall surrounding front porch and garden, and a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and doors.

91. 411 Fairfax Avenue APN: 34033100 Non-Contributor 2023  
Builder: B. Norberg Original Owner: J. M. Chalmers

A 1933 Spanish Colonial Revival style building was previously located on this site and was demolished in April 2023. The site is currently under construction. The building is a non-

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contributor to the Baywood Historic District because it will be completed after the period of significance.

92. 416 Fairfax Avenue APN: 34034100 Contributor 1933  
Architect: Herbert E. Goodpastor Original Owner: Walter R. Schraff  
Builder: Preston Dietz

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; an external rustic brick chimney; exposed rafter tails; a wrought iron balconette with French doors; molded stucco pilasters and pediment at entry door; molded stucco pilasters and embellishments at windows on the primary façade; art glass window south of chimney; and multi-lite windows. Alterations include: replacement doors

93. 421 Fairfax Avenue APN: 34033090 Contributor 1932  
Architect: Chester H. Treichel Original Owner: Chris Dietz  
Builder: Preston Dietz

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with gable and hip roof forms. Details include a clay tile roof; an internal chimney with a spiderweb metal grille; an arcade at the entry porch; a wood front door with a wrought iron grille; wrought iron grilles over windows on the second story; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and chimney grille.

94. 425 Fairfax Avenue APN: 34033080 Contributor 1946  
Architect: Oscar R. Thayer Original Owner: John and Irene Hardiman

One-and-a-half-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include half-timbering; jerkinhead roof over primary gable; entry porch with arch openings; brick panels on primary façade; and angled bay windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

95. 428 Fairfax Avenue APN: 34034110 Contributor 1947  
Architect: C.O. Clausen Builder: A. K. Holt  
Original owner: E. E. Collins

Two-story, wood-frame, French Provincial, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof. Details include a symmetrical primary façade with Gibbs surround and pediment with plaster detailing over recessed wood panel entry door;

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low arched multi-lite windows; and wood shutters. Alterations include: replacement roof material.

96. 433 Fairfax Avenue APN: 34033070 Contributor 1933

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include an external brick and stucco chimney; half-timbering; dormer windows; bay windows with knee brackets; leaded windows; and multi-lite windows. Related features include a detached two-car garage at the rear of the property. Alterations include: replacement doors.

97. 434 Fairfax Avenue APN: 34034120 Contributor 1929  
Architect/Builder: George J. Maurer Original Owner: C.C. Mallory

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include an external brick chimney; half-timbering; round window in gable end; low pointed-arch door enframingent and wood entry door; a projecting second story over the entryway; door enframingent featuring scored stucco to resemble ashlars with drip molding; and multi-lite windows. Related features include a detached two-car garage at the rear of the property. Alterations include: no known alterations.

98. 439 Fairfax Avenue APN: 34033060 Contributor 1936  
Architect: William H. Toepke Original Owner: J.H. Delaney

Split-level, wood-frame, California Ranch, single-family residence clad in stucco and vertical wood siding. It has an irregular footprint with a cross-gable roof. Details include a front porch with wood posts and a recessed entryway; wood shutters; and an integral two-car garage. Alterations include: replacement windows

99. 447 Fairfax Avenue APN: 34033050 Contributor 1930

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco chimney; exposed rafter tails; a wood balcony with wood railings, posts, and knee brackets over an integral one-car garage; French doors and columns at entry porch; arched multi-lite window at the first story; and wood swinging garage doors with wrought iron grilles over

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lites. Alterations include: replacement French doors and non-original screen door over front door.

100. 457 Fairfax Avenue APN: 34033040 Contributor 1932  
Builder/Owner: F.F. Lloyd

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; a decorative tile feature displaying a ship; wrought iron lamps and window grille on front door; multi-lite windows. Related features include a low brick retaining wall at the sidewalk and driveway. Alterations include: no known alterations

101. 460 Fairfax Avenue APN: 34032080 Contributor 1935  
Builder: Gordon Hess Original Owner: A.J. Goldberg

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include an external brick chimney; exposed rafter tails; a wood balcony with wood posts, brackets, beams, and non-original metal railing; multi-lite windows and wood shutters. Alterations include: replacement windows, doors, shutters, and roof material

102. 461 Fairfax Avenue APN: 34033030 Contributor 1936  
Architect: Vincent G. Raney Original Owner: Mr. and Mrs. Clifford Clark

Two-story, wood-frame, Eclectic/Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a steeply pitched gable roof. Details include a wood shake roof; dormer window; a brick projection at the center of the primary façade around the entry that extends up to the roof line; bay windows; multi-lite windows; and wood shutters. Related features include a detached accessory building at the rear of the parcel. Alterations include: replacement door and bay windows.

103. 462 Fairfax Avenue APN: 34033020 Contributor 1929  
Builder/Owner: F.S. Low

One-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof with minor gable roof forms. Details include a clay tile roof; a circular tower entry vestibule with molded stucco dentils; metal balconettes; and

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a molded cartouche over primary gable. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

104. 470 Fairfax Avenue APN: 34032090 Contributor 1931  
Architect: Grimes & Schoening Original Owner: B.J. Rohde  
Builder: Buschke & Johnson

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with cross-gable and hip roof forms. Details include internal and external brick chimneys; exposed rafter tails; half-timbering; terra cotta vents in gable ends; dormer window over covered entry porch; bay window with flared metal roof with scalloped edge detailing; leaded glass windows; and multi-lite windows. Related features include a flared roof extension to the west of the primary façade that forms a solid stucco wall extending to the driveway. Alterations include: no known alterations.

105. 478 Fairfax Avenue APN: 34032100 Contributor 1929  
Builder/Owner: Buschke & Johnson

Two-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; an external brick chimney; terra cotta vents in gable ends; a recessed entry at the center of the primary façade beneath second story porch with wood trellis; molded decorative feature at windows over integral one-car garage; and multi-lite windows. Alterations include: non-original second story porch.

106. 480 Fairfax Avenue APN: 34032110 Contributor 1931  
Architect: Grimes & Schoening Builder/Owner: Buschke & Johnson

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; internal and external stucco chimneys; terra cotta vents in gable ends; wrought iron grille over window on second story; wood front door flanked by pilasters; and multi-lite windows. Alterations include: no known alterations.

107. 484 Fairfax Avenue APN: 34032120 Contributor 1942  
Builder/Owner: H. Shapiro

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a dormer window over the covered entry porch with paired square wood posts; and an integral two-car garage with trellis feature supported by

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brackets over garage door openings. Alterations include: replacement windows and wood shutters removed.

108. 500 Fairfax Avenue APN: 34023080 Contributor 1940  
Architect: Angus McSweeney Original Owner: Patrick Turley  
Builder: G.W. Williams Co.

Two-story, wood-frame, Eclectic, single-family residence clad in stucco. It has a generally rectangular footprint with hip and gable roof forms. Details include an external brick chimney; a molded stucco cornice; a wood front door under a covered entry with square posts; and multi-lite windows. Alterations include: replacement windows.

109. 506 Fairfax Avenue APN: 34023090 Contributor 1938

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include an external brick chimney; half-timbering; an entry recessed within a small central gable featuring an angled opening and a wood plank door with metal bracing; a painted shield over the entryway; and wood shutters. Related features include a low stucco wall with partial stone cladding surrounding front entry and patio area and a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

110. 514 Fairfax Avenue APN: 34023100 Contributor 1935  
Builder: Roy Allen Original Owner: Al Puchinelli

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with hip and cross-gable roof forms. Details include an external brick chimney; exposed rafter tails; half-timbering; a bay window with brackets below; paired square wood posts at entry porch; brick sills and water tables; leaded glass windows; and multi-lite windows. Alterations include: no known alterations

111. 519 Fairfax Avenue APN: 34024060 Contributor 1927  
Builder/Owner: Frank Ferreo

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; terra cotta vents in gable ends; an arched recessed primary entrance wrought iron railings and decorative tile at entry steps; medallions over windows; wrought iron planters; and an integral

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two-car garage. Related features include a detached two-story accessory building at the front of the parcel. Alterations include: replacement windows and doors.

112. 520 Fairfax Avenue APN: 34023110 Contributor 1949  
Builder/Owner: T.J. Martin

One-story, wood-frame, California Ranch, single-family residence clad in stucco and brick. It has a generally rectangular footprint with a hip roof. Details include an external brick chimney; a covered porch with metal supports; a wood front door with pebbled sidelights, and an integral two-car garage. Alterations include: no known alterations

113. 525 Fairfax Avenue APN: 34024050 Contributor 1933  
Builder/Owner: Roy Allen

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; a round tower entry vestibule; curved front stairs; tile around entry arch; tile medallion; shaped wood lintels and mullions at windows and integral two-car garage; and wood shutters. Alterations include: replacement windows.

114. 526 Fairfax Avenue APN: 34023120 Contributor 1948  
Builder: T. J. Martin

Split-level, wood-frame, California Ranch, single-family residence clad in stucco with a brick water table. It has a generally rectangular footprint with a hip roof. Details include an external brick chimney; exposed rafter tails; metal planter accents under windows; a wood front door with sidelights; and brackets over integral two-car garage. Alterations include: replacement front door

115. 530 Fairfax Avenue APN: 34023130 Non-Contributor Ca. 2008

Two-story, wood-frame, single-family residence clad in stucco. The building does not demonstrate a particular style. It has a generally rectangular footprint with a cross-gable roof. Details include an external brick chimney; half-timbering; large multi-window dormers; and an integral two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

116. 531 Fairfax Avenue APN: 34024040 Contributor 1949  
Builder: T. J. Martin

Two-story, wood-frame, California Ranch, single-family residence clad in brick and vertical wood siding. It has an irregular footprint with a hip roof. Details include an external brick

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chimney; square porch posts; wood entry door with sidelights; and a diamond vent at the entryway. Alterations include: replacement windows and doors.

117. 536 Fairfax Avenue APN: 34023140 Contributor 1949  
Builder: T. J. Martin

One-story, wood-frame, California Ranch, single-family residence clad in stucco and brick. It has a generally rectangular footprint with a hip roof. Details include an external brick chimney; brick water tables; wrought iron porch railings and embellishments; tubular steel porch posts; wood shutters; and an integral two-car garage. Alterations include: replacement floors

118. 539 Fairfax Avenue APN: 34024030 Non-Contributor Ca. 2023

Building under construction at the time of survey. The building is a non-contributor to the Baywood Historic District because it will be completed after the period of significance.

119. 542 Fairfax Avenue APN: 34023150 Non-Contributor ca. 2023

Building under construction at the time of survey. The building is a non-contributor to the Baywood Historic District because it will be completed after the period of significance.

120. 545 Fairfax Avenue APN: 34024020 Contributor 1949  
Builder: Smith & Wacker

One-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with hip and cross-gable roof forms. Details include an external brick chimney; exposed rafters. Alterations include: replacement doors.

121. 551 Fairfax Avenue APN: 34024010 Contributor 1947  
Builder: Smith & Wacker

One-story, wood-frame, California Ranch, single-family residence clad in stucco. It has a generally L-shaped footprint with a hip roof. Details include an internal brick chimney; square porch posts; and a circular multi-lite window in the primary facade. Alterations include: replacement windows and doors.

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Fordham Road

122. 511 Fordham Road APN: 34104270 Non-Contributor 1911

Two-story, wood-frame, Neo-Mansard, single-family residence clad in stucco. It has an irregular footprint with a flat roof. Details include a wood shake mansard roof over the second story; an external brick chimney; and an attached two-car garage. Alterations include replacement windows and doors. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

123. 517 Fordham Road APN: 34104230 Contributor 1945

One-story, wood-frame, California Ranch, single-family residence clad in stucco, vertical wood board-and-batten siding and brick. It has an irregular footprint with hip and cross-gable roof forms. Details include an external brick chimney; a bay window; and an attached two-car garage. Alterations include: replacement windows and garage door.

124. 520 Fordham Road APN: 34103200 Contributor 1940

Split-level, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a wood shake roof; an internal stucco chimney; and an integral two-car garage. Alterations include: replacement windows and a second-story addition.

125. 523 Fordham Road APN: 34104220 Contributor 1930

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney with a clay tile hood; terra cotta vents in gable ends; and a wood paneled front door within a recessed entryway with molded stucco quoining and keystone. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement doors.

126. 524 Fordham Road APN: 34103210 Contributor 1930

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include an external brick chimney with a

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stone base; exposed rafter tails; half-timbering; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

127. 525 Fordham Road APN: 34104210 Contributor 1930  
Architect: Grimes & Schoening Builder: Robert H. Smith

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in patterned stucco. It has a generally rectangular footprint with hip and cross-gable roof forms. Details include a clay tile roof; terra cotta vents in gable end; an external brick chimney; a wood plank front door with a wrought iron grille behind a peaked arched entryway within a central rounded turret; diamond medallions on central turret. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

128. 527 Fordham Road APN: 34104200 Contributor 1928

Two-story-over-basement, wood-frame, Storybook French Provincial, single-family residence clad in stucco. It has a generally rectangular footprint with a steeply pitched cross-gable roof. Details include an external brick chimney; terra cotta vents in gable ends; wood and wrought iron ornament in primary gable end; peaked arched door within matching recess lined with molded stucco and stone; French doors; front porch with metal railings; and multi-lite windows. Alterations include: replacement windows and a second story addition on the north façade.

129. 528 Fordham Road APN: 34103220 Contributor 1931

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney with a brick hood; molded stucco corbeling at gable end and under overhang east of entrance; a large overhang at the second story on the side façade; a wood balcony with wood railings over the primary entrance; wrought iron balconette and multi-lite windows. Related features include a low stucco retaining wall along the front of the parcel topped with brick and a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

130. 529 Fordham Road APN: 34104190 Contributor 1928

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof. Details include a clay tile roof; an external brick chimney; exposed rafter tails; a wrought iron grille over a circular fixed second-story window; a molded stucco cornice at the first story; French doors; a fabric awning over the front porch; and multi-lite windows. Related features include a low stucco wall with a

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metal gate enclosing the front yard and a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

131. 536 Fordham Road APN: 34103230 Non-Contributor 1951

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with a cross-gable roof. Details include an external stucco chimney; a square bay window with a flared standing seam metal roof; a wood panel front door within a molded stucco arch with leaded glass lites; wood planter box with wood brackets over an integral one-car garage. Related features include a landscaped retaining wall along the front of the parcel. Alterations include: replacement window. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

132. 540 Fordham Road APN: 34103240 Contributor 1940

Two-story-over-basement, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with a cross-gable roof. Details include an external patterned brick chimney; half-timbering; wood shutters; and an integral basement-level two-car garage with a wood lintel. Alterations include: replacement windows.

133. 545 Fordham Road APN: 34103180 Contributor 1930

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; an external brick chimney; exposed rafter tails; round stucco porch columns; painted tile insets at porch steps; metal balconette; a French door with a wood lintel; and a metal grille over window west of the wood plank front door. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and doors.

134. 546 Fordham Road APN: 34103250 Non-Contributor 1951  
Builder: A. Norden

Two-story-over-basement, wood-frame, single-family residence clad in stucco with a brick water table. The building does not display a particular style. It has an irregular footprint with a hip roof. Details include bay windows and an integral basement-level two-car garage. Related features include concrete masonry unit retaining wall along the front of the parcel. Alterations include:

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replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

135. 600 Fordham Road APN: 34103260 Non-Contributor 1951

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco and horizontal wood lap siding. It has an irregular footprint with a hip roof. Details include an external stucco chimney; exposed rafter tails; wood shutters; and an integral basement-level two-car garage. Related features include a low brick retaining wall along the front of the parcel. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

136. 603 Fordham Road APN: 34104170 Contributor 1931

One-story-over-basement, wood-frame, Storybook/Norman, single-family residence clad in stucco. It has an irregular footprint with steeply pitched hip and gable roof forms. Details include an external brick chimney; exposed rafter tails; half-timbering; partially glazed wood plank door with leaded glass behind arched opening in central turret; wood balconettes with wood railings; leaded glass windows; multi-lite window; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and doors.

137. 608 Fordham Road APN: 34103270 Contributor 1948

One-story-over-basement, wood-frame, Tudor Revival, single-family residence clad in stucco with a brick bulkhead. It has a U-shaped footprint with hip and gable roof forms. Details include exposed rafter tails; half-timbering; a recessed entry with embellished wood posts and moldings; and an integral recessed basement-level one-car garage. Related features include a low stone retaining wall along the front of the parcel. Alterations include: replacement windows.

138. 609 Fordham Road APN: 34104160 Contributor 1930

Two-story-over-basement, wood-frame, Storybook/Tudor Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with steeply pitched hip and cross-gable roof forms. Details include internal and external brick chimneys; terra cotta vents and dove-cote elements in gable ends; half-timbering; shingle clad dormer window; large multi-lite window at primary gable end with carved lintel and stone surrounds; square wood porch posts and carved beams at porch; and large front patio with metal railings. Alterations include: replacement door at front patio.

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139. 612 Fordham Road APN: 34103280 Non-Contributor 1950

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in wood v-groove siding and board-and-batten siding with a brick water table. It has a generally U-shaped footprint with a hip roof. Details include a wood balcony with square wood posts and wood railings; and an integral basement-level two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

140. 615 Fordham Road APN: 34104150 Contributor 1932

Split-level, wood-frame, Eclectic/Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include an external brick chimney; fabric awnings; an arched glazed front door within an arched recess with molded stucco surrounds; multi-lite windows; and an integral two-car garage. Alterations include: replacement windows and doors.

141. 616 Fordham Road APN: 34103290 Non-Contributor 1950

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in horizontal wood drop siding with a brick water table. It has a generally L-shaped footprint with a hip roof. Details include an external brick chimney; multi-lite windows; wood shutters; and an integral basement-level two-car garage. Related features include a low brick retaining wall along the front of the parcel. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

142. 622 Fordham Road APN: 34103300 Contributor 1948

One-story-over-basement, wood-frame, Eclectic, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include an exterior brick chimney with a brick hood; jerkinhead feature in the primary gable end; a low partial arched dormer window; and an integral basement-level two-car garage. Related features include a low brick retaining wall along the front of the parcel. Alterations include: replacement windows.

143. 628 Fordham Road APN: 34103310 Contributor 1940

One-story-over-basement, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include an external brick chimney; square terra cotta vents in gable ends; paired metal porch posts with embellishments; metal porch railings; wood shutters; and an integral two-car garage. Alterations include: replacement windows.

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144. 634 Fordham Road APN: 34103320 Non-Contributor Ca. 2022

Two-story-over-basement, wood-frame, Contemporary, single-family residence clad in stucco and vertical flush wood clapboard siding. It has a generally rectangular footprint with a cross-gable roof. Details include an external stucco chimney; a cantilevered metal awning over the entry porch and integral basement-level two-car garage. The building is of recent construction. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

145. 639 Fordham Road APN: 34104140 Contributor 1931  
Architect: Grimes & Schoening Builder: The Baywood Park Company

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external and internal stucco chimney; exposed rafter tails; a wood balcony with square wood posts and molded wood railings; French doors; wrought iron grille over windows; . Related features include low stucco and brick retaining wall lining the entire parcel along the curve of Fordham Road, a high stucco wall enclosing much of the front yard into a central courtyard, and a detached two-car garage at the rear of the parcel connected to the primary building via a single wall with an arched opening. Alterations include: non-original pergola in front courtyard.

146. 640 Fordham Road APN: 34103330 Contributor 1935

Split-level, wood-frame, French Provincial, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a mansard roof and horizontal wood lap siding over integral two-car garage; an external stucco chimney; stucco quoining; a flared standing seam metal roof over box window; an arched wall dormer window with a metal Balconette; and multi-lite windows . Alterations include: replacement windows and garage door.

147. 640 Fordham Road APN: 34103340 Non-Contributor 2011

Two-story wood-frame, Contemporary, single-family residence clad in stucco. It has a generally square footprint with hip and gable roof forms. Details include an external stone chimney; balcony with wood railings and French doors; and square wood porch posts. Related features include a detached two-car garage at the rear of the parcel, facing Notre Dame Avenue. The building is of recent construction. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

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148. 651 Fordham Road APN: 34104130 Contributor 1949

One-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include wood porch posts; wood lintels and vertical wood clapboard bulkheads at all windows; square wood porch posts; wood shutters; and an integral two-car garage. Alterations include: replacement windows and garage door.

149. 652 Fordham Road APN: 34103350 Contributor 1936

Two-story, wood-frame, Eclectic, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external brick chimney; a two-lite wood panel front door with sidelights; paired embellished metal porch posts; metal porch railings; a balcony with paired embellished metal porch posts and metal railings; metal planters; French doors; wood shutters; and an attached two-car garage. Related features include detached accessory building at the rear of the parcel. Alterations include: replacement window.

Franklin Street

150. 255 Franklin Street APN: 34101120 Contributor 1936

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include an external brick chimney with stucco and flagstone base; jerkinhead features in gable end over integral two-car garage; dormer windows; fascia boards; half-timbering; a recessed arched entry with flagstone surrounds; multi-lite windows; and wood shutters. Alterations include: replacement windows and garage doors.

151. 303 Franklin Street APN: 34083100 Contributor 1931

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; decorative tiles at entryway; wrought iron grilles over windows above attached two-car garage; and wood shutters. Alterations include: replacement windows and garage doors.

152. 316 Franklin Street APN: 34084110 Contributor 1934

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally square footprint with a cross-gable roof. Details include a clay tile roof; exposed rafter tails; a wood balcony with embellished square wood posts and a metal railing; French doors; wrought iron grille over window west of primary entrance; wood panel door within recessed entryway with a wood lintel and molded stucco surrounds; multi-lite windows; and

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wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

153. 322 Franklin Street APN: 34084120 Contributor 1933

Two-story, wood-frame, Eclectic, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a wood shake roof; an external stucco chimney; exposed rafter tails; a wood panel door within an arched recessed entryway; multi-lite windows; and an integral two-car garage in the west façade. Alterations include: no known alterations.

154. 327 Franklin Street APN: 34083090 Contributor 1927  
Builder: Thomas A Cavanaugh Original owner: Mr. & Mrs. Scott Hendricks

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with a cross-gable roof. Details include a clay tile roof; terra cotta vents in gable ends; copper gutters; a central two-story rounded turret; a wrought iron balconette; multi-lite windows; wood shutters; and an integral two-car garage. Related features include a high stucco wall topped with clay tiles enclosing the interior of the L-shaped footprint. Alterations include: replacement garage doors.

155. 330 Franklin Street APN: 34084130 Contributor 1934

Split-level, wood-frame, Colonial Revival, single-family residence clad in horizontal wood lap siding. It has an irregular footprint with hip and gable roof features. Details include an external brick chimney; wide dormer; partially glazed wood panel door with sidelights and wood column porch posts; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows, front door, and a second story addition.

156. 340 Franklin Street APN: 34084140 Contributor 1940

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include an external brick chimney; exposed rafter tails; a triangular louver vent in the primary gable end; and an integral two-car garage. Alterations include: replacement windows.

157. 346 Franklin Street APN: 34084150 Contributor 1928

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; exposed rafter tails; an arcaded entry porch with spiral molded columns with ornate capitals; a wrought

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iron balconette; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

158. 351 Franklin Street APN: 34082060 Contributor 1938

Split-level, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a gable roof. Details include a clay tile roof; an external brick chimney; square and round terra cotta vents in primary gable end; exposed rafter tails; fascia boards; and an integral two-car garage. Alterations include: replacement windows and doors.

159. 353 Franklin Street APN: 34082050 Contributor 1930

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a T-shaped footprint with hip and gable roof forms. Details include a clay tile roof; terra cotta vents in gable ends; exposed rafter tails; arched windows with integral molded column in muntin; and multi-lite windows. Alterations include: replacement windows.

160. 354 Franklin Street APN: 34084200 Contributor 1927

One-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney with a decorative brick and tile crown and a lion's head medallion within an embellished recess at the base; molded stucco vents in gable ends; an embellished recessed entryway; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

161. 358 Franklin Street APN: 34084190 Non-Contributor 1963

Two-story, wood-frame, Eclectic/California Ranch, single-family residence clad in stucco. It has an irregular footprint with a steeply pitched hip roof. Details include a prominent molded fascia board; a bay window; a wood panel door with large multi-lite sidelights; multi-lite windows; and an attached two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

162. 359 Franklin Street APN: 34082040 Contributor 1928

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco with a brick water table. It has a generally L-shaped footprint with a cross-gable roof. Details include a wood shake roof; an external stucco chimney with a brick base; half-timbering; a dormer with French doors and a wood balcony with molded wood railings; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

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163. 364 Franklin Street APN: 34084170 Contributor 1937

Split-level, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a gable roof. Details include a clay tile roof; a stucco chimney with clay tile hood; a stepped molded cornice; wrought iron balconettes; paired French doors with arched fanlights, stucco surrounds, and a molded medallion at the primary gable end; multiple windows; and an integral one-car garage. Alterations include: replacement garage doors.

164. 365 Franklin Street APN: 34082030 Contributor 1941

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco and brick. It has an irregular footprint with a hip roof. Details include an external brick chimney; exposed rafter tails; metal porch railings; a metal planter over an integral two-car garage; and wood shutters. Alterations include: replacement windows and doors.

165. 370 Franklin Street APN: 34084180 Contributor 1940

Two-story, wood-frame, French Provincial, single-family residence clad in stucco and rustic brick. It has an irregular footprint with a hip roof. Details include an external brick chimney; wood shutters; and an integral two-car garage facing Crystal Springs Road. Alterations include: replacement windows.

166. 371 Franklin Street APN: 34082020 Contributor 1949

Two-story, wood-frame, California Ranch, single-family residence clad in stucco and horizontal wood lap siding. It has a generally L-shaped footprint with a hip roof. Details include a wood shake roof; an external brick chimney; paired square wood porch posts; and an attached two-car garage. Alterations include: replacement windows and doors.

167. 377 Franklin Street APN: 34082010 Non-Contributor 1950

Two-story, wood-frame, Midcentury Modern, single-family residence clad in horizontal wood clapboard siding and flagstone. It has an irregular footprint with a hip roof. Details include an external brick chimney; glass block windows; tubular steel porch posts; and an integral two-car garage facing Crystal Springs Road. Alterations include: replacement windows and garage door. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

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Georgetown Avenue

168. 307 Georgetown Avenue APN: 34103170 Contributor 1912

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include an external brick chimney; nested gables; half-timbering; an arched wood entry door; and multi-lite windows. Alterations include: replacement windows, second-story porch enclosed, rear addition..

169. 315 Georgetown Avenue APN: 34103160 Contributor 1931

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with hip and cross-gable roof forms. Details include a clay tile roof; wood lintels; a wood entry door with decorative metal pediment within a recessed arched opening; multi-lite windows; and wood shutters. Alterations include: no known alterations.

170. 316 Georgetown Avenue APN: 34102020 Contributor 1933

Architect: Chester T. Treichel  
Original owner: Mr. & Mrs. Hudson

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with gable and hip roof forms. Details include a clay tile roof; an external brick and stucco chimney; a wood balcony at the second story; circular art glass window with wrought iron grille; and arched window. Alterations include: replacement windows, wrought iron grille over circular window

171. 321 Georgetown Avenue APN: 34103150 Contributor 1930

Architect: Charles Strothoff Builder: Buschke & Johnson

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; a covered second-story porch with carved and notched wood supports and railings; wrought iron window grilles; a profiled recessed entry door enframingent with arched wood plank entry door; front porch with low stucco sidewalls and terra cotta floor; multi-lite windows; and a partially below-grade integral one-car garage. Alterations include: replacement windows.

172. 324 Georgetown Avenue APN: 34102030 Non-Contributor 1965

Two-story-over-basement, wood-frame, Neo-Mansard, single-family residence clad in stucco and brick. It has a rectangular footprint with a mansard roof. Details include a wood shake clad mansard at the second story; multi-lite windows; and wood shutters. Alterations include:

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replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

173. 327 Georgetown Avenue APN: 34103140 Contributor 1930

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; a profiled recessed entry; wrought iron grilles; a wood panel entry door; multi-lite windows; wood shutters; and a partially below grade integral one-car garage. Alterations include: no known alterations.

174. 329 Georgetown Avenue APN: 34103130 Non-Contributor 1955

One-story, wood-frame, California Ranch, single-family residence clad in stucco, board and batten, and horizontal lapped siding. It has an irregular footprint with gable and hip roof forms. Details include a slate tile roof; paired entry doors; and an integral two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

175. 330 Georgetown Avenue APN: 34102040 Contributor 1948

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in horizontal wood siding. It has a generally rectangular footprint with a hip roof. Details include an external flagstone chimney; an integral two-car garage at the basement level; and brick and stone retaining walls at the sidewalk and driveway. Alterations include: replacement windows.

176. 333 Georgetown Avenue APN: 34103120 Contributor 1946

Two-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an L-shaped footprint with hip and cross-gable roof forms. Details include a wood arbor structure; stylized doveote over attached two-car garage at the front of the parcel; and multi-lite windows. Alterations include: no known alterations.

177. 338 Georgetown Avenue APN: 34102050 Non-Contributor 1964

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in vertical wood siding and stucco. It has a generally rectangular footprint with a hip roof. Details include a metal porch railing; vertical flagstone elements with stucco cladding; and an integral two-car garage at the basement level. Alterations include: replacement windows and doors. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

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178. 339 Georgetown Avenue APN: 34103110 Non-Contributor 1957

Split-level, wood-frame, single-family residence clad in stucco and stone. The building does not demonstrate a particular style. It has a square footprint with a hip roof. Details include a clay window over an integral two-car garage. Alterations include: solar panels. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

179. 343 Georgetown Avenue APN: 34103100 Non-Contributor 1955

One-story, wood-frame, California Ranch, single-family residence clad in lapped wood siding. It has an irregular footprint with a cross-gable roof. Details include an integral two-car garage at the front of the parcel. Alterations include: replacement windows and doors. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

180. 347 Georgetown Avenue APN: 34103000 Non-Contributor 1961

One-story, wood-frame, California Ranch, single-family residence clad in stucco, brick, and V-groove wood siding. It has a U-shaped footprint with a hip roof. Details include slate roof and an integral two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

181. 348 Georgetown Avenue APN: 34102060 Non-Contributor 1983

Two-story-over-basement, wood-frame, single-family residence clad in wood shingle siding. The building does not demonstrate a particular style. It has a generally rectangular footprint with a gable roof. Details include a wood shake roof; French doors; wood double doors at entry with art glass; and an integral three-car garage at the basement level. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

182. 350 Georgetown Avenue APN: 34102070 Contributor 1948

Two-story-over-basement, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; an external stucco chimney; exposed rafter tails; French doors at first and second story balconies; wrought

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iron balcony railings; arcade at entryway with molded keystones; and an integral two-car garage at the basement level within a tall arched recessed entry. Alterations include: replacement floors

183. 351 Georgetown Avenue APN: 34103080 Non-Contributor 1956

One-story, wood-frame, California Ranch, single-family residence clad in stucco and board and batten siding. It has an irregular footprint with a hip roof. Details include a brick water table and an integral two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

184. 362 Georgetown Avenue APN: 34102080 Contributor 1930  
Architect: Peter D. Canali

Two-and-a-half-story, wood-frame, Italian Renaissance, single-family residence clad in stone. It has a generally square footprint with a gable roof over the partial third story. Details include round arched windows over French doors with wrought iron balcony; lion's head medallions on south, east, and north facades; broken pediment detail over paired casement windows on second story of east and south façades; balcony over porch with wrought iron railings; relief centered on primary façade below gable end; metal railings around roof deck; round tower feature at south façade, and multi-lite windows. Related features include a stone perimeter wall at the east and south sides of the parcel, a stone arched entry at the east side of the parcel with a stone fountain with a decorative tile backsplash, and a detached two-car garage at the rear of the parcel with a second story. Alterations include: replacement windows.

185. 365 Georgetown Avenue APN: 34103070 Contributor 1940

One-story, wood-frame, Minimal Traditional, single-family residence clad in rustic channel wood siding. It has an irregular footprint with a gable roof. Details include a wood shake roof and an integral two-car garage. Alterations include: replacement windows and doors.

186. 371 Georgetown Avenue APN: 34103060 Contributor 1941

One-story, wood-frame, California Ranch, single-family residence clad in lapped wood siding. It has a generally rectangular footprint with a hip roof. Details include open eaves with exposed rafter tails; and an integral two-car garage. Related features include a brick and wood entry gate at the sidewalk, leading to the primary entrance. Alterations include: solar panels.

187. 377 Georgetown Avenue APN: 34103050 Contributor 1930

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with gable and hip roof forms. Details include a clay tile roof; a rounded turret entryway with a plank door and ornate hardware; paired round arched windows with ornate

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attached columns; stone steps, walkways, and walls; and multi-lite windows. Alterations include: no known alterations.

188. 380 Georgetown Avenue APN: 34102090 Contributor 1949

One-story, wood-frame, California Ranch, single-family residence clad in horizontal wood clapboard siding and wood shake cladding in gable ends. It has an irregular footprint with hip and gable roof forms. Details include a wood shake roof; a multi-lite wood door with sidelights; and an integral two-car garage. Alterations include: replacement windows and a garage door.

189. 385 Georgetown Avenue APN: 34103040 Non-Contributor 1950

One-story, wood-frame, California Ranch, single-family residence clad in stucco. It has a U-shaped footprint with a hip roof. Details include multi-lite windows and an integral two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

190. 389 Georgetown Avenue APN: 34103030 Non-Contributor 1951

Two-story, wood-frame, Minimal Traditional with Tudor Revival elements, single-family residence clad in stucco and brick. It has an irregular footprint with a cross-gable roof. Details include half-timbering; dormer windows; and multi-lite windows. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

191. 393 Georgetown Avenue APN: 34103020 Non-Contributor 1950

Split-level, wood-frame, California Ranch, single-family residence clad in wood shake siding and brick. It has an irregular footprint with a hip roof. Details include a recessed primary entrance with covered porch; and an integral two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

192. 403 Georgetown Avenue APN: 34074130 Contributor 1930

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with cross-gable and hip roof forms. Details include a clay tile roof; an external brick chimney with an arched brick hood; terra cotta and clay tile vents in gable ends; a balcony over the primary entrance with French doors and wrought iron railings; a

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wide stucco arch at the entryway; a rear patio with metal railings over an integral basement-level two-car garage; and leaded glass windows. Alterations include: replacement windows and doors.

193. 406 Georgetown Avenue APN: 34073130 Contributor 1948

One-story-over-partial-basement, wood-frame, Minimal Traditional, single-family residence clad in stucco with brick around entrance and brick water table. It has a generally rectangular footprint with a hip roof. Details include a wood shake roof; wide eaves; and a basement-level integral two-car garage. Related features include a brick and concrete breeze block wall enclosing side garden. Alterations include: replacement windows.

194. 409 Georgetown Avenue APN: 34074120 Contributor 1930

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; tile and timber decorative elements; an enclosed front patio and multi-lite windows. Alterations include: no known alterations. Building heavily damaged by falling tree in 2023, construction ongoing

195. 410 Georgetown Avenue APN: 34073140 Contributor 1948

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco with brick water tables. It has an irregular footprint with a hip roof. Details include an external brick chimney; a bay window; an octagonal fixed window south of the primary entrance; a glazed front door; and an integral two-car garage. Alterations include: replacement windows and front door.

196. 415 Georgetown Avenue APN: 34074110 Contributor 1930

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; internal and external brick chimneys; terra cotta vents in gable ends; arched entryway through central turret; arcade over front porch; and decorative tile surrounds on arched fixed window of the primary facade. Related features include a detached two-car garage at the rear of the parcel, facing Notre Dame Avenue. Alterations include: replacement windows.

197. 419 Georgetown Avenue APN: 34074100 Contributor 1930

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; terra cotta and clay tile vents in gable ends; exposed rafter tails; molded stucco embellishments

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on arched fixed windows; square stucco porch posts; and wood lintels over some windows. Alterations include: replacement front door.

198. 422 Georgetown Avenue APN: 34073150 Contributor 1948

Split-level, wood-frame, California Ranch, single-family residence clad in stucco with brick water tables. It has an irregular footprint with a hip roof. Details include an external brick chimney; a wood panel door with opaque scored glass sidelights; a wrought iron railing at entry steps; wood shutters; and an integral two-car garage. Alterations include: no known alterations.

199. 423 Georgetown Avenue APN: 34074090 Contributor 1930

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in patterned stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external brick chimney; clay tile vents in gable ends; a recessed entryway; square porch posts; and multi-lite windows. Alterations include: replacement windows and doors.

200. 428 Georgetown Avenue APN: 34073160 Contributor 1948

Split-level, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a wood panel door with sidelights within a recessed entry; and a bay window over the integral two-car garage. Alterations include: replacement windows.

201. 429 Georgetown Avenue APN: 34074080 Contributor 1929

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in patterned stucco. It has an irregular footprint with a gable roof. Details include a clay tile roof; an internal brick chimney; terra cotta, clay tile, and diamond stucco vents and medallion in gable end; an arched entryway; an arcade at the entry porch; and multi-lite windows. Alterations include: replacement windows and doors.

202. 435 Georgetown Avenue APN: 34074070 Contributor 1929

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in patterned stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; terra cotta vents in gable ends; wood lintels over windows; stucco moldings between sets of casement and fixed windows on primary façade;

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an arched entryway in central turret; angular stucco moldings at cornice on turret. Alterations include: replacement front door.

203. 434 Georgetown Avenue APN: 34073170 Contributor 1948

Split-level, wood-frame, California Ranch, single-family residence clad in stucco at the basement level and horizontal wood lap siding at the first floor. It has an irregular footprint with a hip roof. Details include an external brick chimney; wrought iron railings at entry steps; balcony over west half of integral two-car garage; wood panel door with glass block side lights; multi-lite windows; and wood shutters. Alterations include: replacement garage door.

204. 439 Georgetown Avenue APN: 34074060 Contributor 1928

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in patterned stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external brick chimney; clay tile vents in gable end; an arched entryway with an arched front door; decorative tile at entry steps; and multi-lite windows. Alterations include: replacement windows and front door.

205. 440 Georgetown Avenue APN: 34073180 Non-Contributor 1945

Split-level, wood-frame, single-family residence clad in stucco. The building does not demonstrate a particular style. It has an L-shaped footprint with hip and gable roof forms. Details include multi-lite windows; wood shutters; and an integral two-car garage. The building is a non-contributor to the Baywood Historic District because it has been drastically altered, including: replacement windows, shutters, doors, and major addition to primary facade.

206. 444 Georgetown Avenue APN: 34073190 Contributor 1945

Split-level, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external brick chimney; wrought iron railings at entry steps; and an integral two-car garage. Alterations include: replacement windows and garage door.

207. 445 Georgetown Avenue APN: 34074050 Contributor 1929

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in patterned stucco. It has a generally rectangular footprint with a cross-gable roof. Details

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include a clay tile roof; terra cotta vents in gable ends; French doors; a metal balconette; a partially enclosed front porch; and multi-lite windows. Alterations include: no known alterations.

208. 475 Georgetown Avenue APN: 34074040 Contributor 1928

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in patterned stucco. It has an irregular footprint with cross-gable and hip roof forms. Details include a clay tile roof; an external stucco chimney; terra cotta vents in gable ends; divided-lite windows; and wood shutters. Alterations include: replacement windows and wood shutters.

209. 502 Georgetown Avenue APN: 34073200 Contributor 1930

Three-and-a-half-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an L-shaped footprint with cross-gable and hip roof forms. Details include a clay tile roof; external brick and stucco chimneys with embellished metal hoods; clay tile vents in gable ends; stucco balcony with molded stucco brackets of the second story over the integral two-car garage; molded stucco arches at balcony with fanlights above and French doors below with molded stucco columns with spiral designs between them; square porch posts with wood embellishments; metal balconettes; and multi-lite windows. Alterations include: replacement windows and garage door.

210. 503 Georgetown Avenue APN: 34074030 Contributor 1928

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; an external stucco chimney with an arched stucco hood; French doors; wood lintels; square stucco porch posts; shaped fascia board under porch; recessed entryway; and multi-lite windows. Alterations include: replacement windows and doors.

211. 506 Georgetown Avenue APN: 34073210 Contributor 1941

One-story-over-basement, wood-frame, Minimal Traditional, single-family residence clad in brick around the integral two-car garage, horizontal wood lap and clapboard siding above the garage door, and stucco elsewhere. It has an irregular footprint with a hip roof. Details include an exterior brick chimney and an interior stucco chimney; square porch posts with wood embellishments; and wood shutters. Alterations include: replacement windows.

212. 509 Georgetown Avenue APN: 34074020 Contributor 1928

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof;

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French doors; and multi-lite windows. Related features include high perimeter hedge wall. Alterations include: no known alterations.

213. 510 Georgetown Avenue APN: 34073220 Contributor 1947

One-story-over-basement, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external brick chimney; a wood panel door with a fanlight transom; art glass windows; square porch posts; and an integral two-car garage. Alterations include: replacement windows and front door.

214. 515 Georgetown Avenue APN: 34074010 Contributor 1929

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; terra cotta vent in gable ends; a shed roof with clay tiles over protruding stucco surround of multi-lite fixed window in primary gable end; arcade at entry porch; French doors; and multi-lite windows. Alterations include: replacement French doors.

215. 516 Georgetown Avenue APN: 34073230 Contributor 1928

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an arcade at porch on east side of primary façade; wrought iron railings at entry stair; recessed arched entry; arched window with the surrounds and metal balconette over integral one-car garage; and multi-lite windows. Alterations include: replacement windows and garage door.

216. 520 Georgetown Avenue APN: 34066050 Contributor 1945

Two-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include exposed rafter tails; a wood balcony; molded wood surrounds at front door; multi-lite windows; and an integrated two-car garage.. Alterations include: replacement windows.

217. 521 Georgetown Avenue APN: 34067040 Contributor 1949

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco with brick water tables. It has a T-shaped footprint with a cross-gable roof. Details include a

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solar tile roof; wrought iron porch posts with floral ornamentation; wood shutters; and an integral two-car garage. Alterations include: replacement doors.

218. 526 Georgetown Avenue APN: 34066060 Contributor 1948

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal wood lap siding. It has a T-shaped footprint with a cross-gable roof. Details include an external brick chimney; a wood panel door with leaded glass sidelights; paired square porch posts and square pediment at portico with dentils; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and door.

219. 527 Georgetown Avenue APN: 34067030 Contributor 1949

One-story-over-basement, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a wood panel front door with a sidelight; a canted fixed window east of the primary entrance and an integral two-car garage. Alterations include: replacement windows.

220. 534 Georgetown Avenue APN: 34066070 Contributor 1930

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; terra cotta vents in gable ends; exposed rafter tails; a wood balcony with wood posts and railings at the second story; French doors; multi-lite windows; and rustic wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows, doors, and shutters.

221. 539 Georgetown Avenue APN: 34067020 Contributor 1949

Two-story-over-basement, wood-frame, Dutch Colonial Revival, single-family residence clad in stucco. It has an L-shaped footprint with hip and gambrel roof forms. Details include an internal brick chimney; leaded glass windows; wood shutters; and an attached two-car garage. Alterations include: replacement windows and front door.

222. 540 Georgetown Avenue APN: 34066080 Non-Contributor 1951

Two-story, wood-frame, Midcentury Modern, single-family residence clad in stucco, brick, and vertical wood board-and-batten siding. It has a generally rectangular footprint with a flat and butterfly roof. Details include an external brick chimney; tubular steel porch posts; wood louver bulkheads on some windows; and a multi-lite wood panel door with a scored glass sidelights. Related features include a low brick perimeter wall along the sides of the parcel along

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Georgetown Avenue and Alameda de las Pulgas and a detached two-car garage at the rear of the parcel facing Alameda de las Pulgas. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

223. 545 Georgetown Avenue APN: 34067010 Contributor 1919

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in brick at the attached two-car garage and stucco elsewhere. It has an irregular footprint with a hip roof. Details include an external stucco chimney; French doors; and wood shutters. Related features include a brick retaining wall along all street-facing sides of the parcel, becoming a retaining wall along Notre Dame Avenue. Alterations include: French doors and garage door.

Harvard Road

224. 201 Harvard Road APN: 34081170 Contributor 1941

One-story, wood-frame, Storybook/Tudor Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with a steeply pitched cross-gable roof. Details include a wood shake roof; external stucco chimney; half-timbering; a brick clad recessed entry with leaded glass double doors; leaded glass windows; multi-lite windows; and an attached two-car garage facing Crystal Springs Road. Alterations include: no known alterations.

225. 202 Harvard Road APN: 34034010 Contributor 1939

Two-story, wood-frame, Colonial Revival, single-family residence clad in stucco and horizontal wood lap siding. It has a generally L-shaped footprint with a cross-gable roof. Details include an external brick chimney; wood panel front door within a classical entryway with pilasters; a denticulate cornice; and pediment; multi-lite windows; wood shutters; and an attached two-car garage facing Crystal Springs Road. Alterations include: replacement windows and doors.

226. 200 Harvard Road APN: 34081160 Contributor 1935

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal wood lap siding. It has a generally L-shaped footprint with a cross-gable roof. Details include an external stucco chimney; a symmetrical arrangement of the primary façade; a full length arcaded front porch with two-story square wood posts; a wood panel front door; and wood shutters. Related

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features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

227. 210 Harvard Road APN: 34034020 Contributor 1937

Two-story, wood-frame, Eclectic, single-family residence clad in stucco, brick, and wood single siding. It has a generally rectangular footprint with hip and gable roof forms. Details include external brick chimney; a wood balconette with wood lattice railings; French doors; a wood plank front door with a brick surround; multi-lite windows; wood shutters; and an attached two-car garage. Alterations include: replacement windows and doors.

228. 215 Harvard Road APN: 34081150 Contributor 1937

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal wood lap siding. It has a generally rectangular footprint with a cross-gable roof. Details include an external brick chimney; an overhanging second story; bay windows with brick bulkheads; multi-lite windows; wood shutters; and an attached two-car garage. Alterations include: replacement garage door.

229. 216 Harvard Road APN: 34034030 Contributor 1928

Two-story, wood-frame, Eclectic, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include an external brick chimney; eave returns; a wood plank door within an arched entryway; molded stucco embellishments over window on primary gable end; multi-lite windows; and an attached two-car garage. Alterations include: replacement garage door.

230. 222 Harvard Road APN: 34034040 Contributor 1927

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with hip and gable roof forms. Details include a clay tile roof; internal stucco chimneys with clay tile hoods; wrought iron grille on window over entryway; wrought iron balconette; embellished wood panel door within molded recess; decorative shield over entryway; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

231. 225 Harvard Road APN: 34081140 Contributor 1928

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and cross-gable roof forms. Details include a clay tile roof; an external stucco and brick chimney; terra cotta vents in gable ends; a recessed wood plank door with molded pilasters; wood lintels; and multi-lite windows. Related features include a detached

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two-car garage at the rear of the parcel. Alterations include: replacement windows at second story.

232. 228 Harvard Road APN: 34034050 Contributor 1937

Two-story, wood-frame, Colonial Revival, single-family residence clad in stucco. It has a rectangular footprint with a gambrel roof. Details include a wood shake roof; a molded cornice; eave returns; a symmetrically arranged primary façade; a multi-lite wood panel front door with wood shutters over sidelights; paired square porch posts; multi-lite windows and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

233. 231 Harvard Road APN: 34081130 Contributor 1928

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; terra cotta vents; exposed rafter tails; a multi-lite wood panel front door within an embellished arched entryway; and wood shutters. Alterations include: replacement windows.

234. 232 Harvard Road APN: 34034050 Contributor 1928

One-story, wood-frame, Eclectic/Tudor Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with hip and gable roof forms. Details include an external stucco chimney with a brick hood; terra cotta vents in gable end; a molded cornice; a multi-lite glazed front door with multi-lite sidelights; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows, doors and roof material.

235. 238 Harvard Road APN: 34034070 Contributor 1935

Two-story, wood-frame, Colonial Revival, single-family residence clad in stucco. It has an L-shaped footprint with a hip roof. Details include a wood shake roof; an external brick chimney; a molded cornice; a symmetrically arranged primary façade; a wood panel entry door with leaded glass sidelights and molded surrounds; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

236. 239 Harvard Road APN: 34081120 Contributor 1933

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco chimney with a brick hood; terra cotta vents in gable ends; exposed

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rafter tails; a wood balcony with wood panel railings and embellished square wood posts; multi-lite windows; and an integral one-car garage. Alterations include: replacement windows.

237. 244 Harvard Road APN: 34034080 Non-Contributor 1989

One-story, wood-frame, Midcentury Modern with Spanish Colonial Revival elements, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; an internal brick chimney; a leaded glass wood panel front door with leaded glass sidelights; and an integral two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

238. 245 Harvard Road APN: 34081110 Contributor 1935

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco and horizontal wood lap siding. It has an irregular footprint with hip and cross-gable roof forms. Details include an external stucco chimney; half-timbering; a dormer window; multi-lite windows; and an attached one-car garage. Alterations include: no known alterations.

239. 250 Harvard Road APN: 34034090 Contributor 1936

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and cross-gable roof forms. Details include a clay tile roof; an external stucco chimney with a brick and clay tile hood; exposed rafter tails; terra cotta vents in gable ends; a wood panel front door within a recessed entry; wood shutters; and an attached two-car garage. Alterations include: replacement doors.

240. 253 Harvard Road APN: 34081100 Non-Contributor 1948

Two-story, wood-frame, Contemporary/California Ranch, single-family residence clad in stucco. It has a generally L-shaped footprint with a hip roof. Details include an internal flagstone chimney; flagstone bulkheads under some windows; a multi-lite glazed wood door; flagstone and wood panel posts and pilasters; and an attached two-car garage facing Fairfax Avenue. The building is a non-contributor to the Baywood Historic District because it has been drastically altered, including: replacement windows and doors, alteration to entry way, and cladding replaced.

241. 300 Harvard Road APN: 34033120 Contributor 1938

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco and brick. It has a rectangular footprint with a cross-gable roof. Details include a wood shake roof; an external

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brick chimney; half-timbering; a wood panel front door with sidelights; bay windows; multi-lite windows; and an integral two-car garage. Alterations include: no known alterations.

242. 301 Harvard Road APN: 34083010 Contributor 1941

One-story, wood-frame, Minimal Traditional, single-family residence clad in stucco and horizontal wood clapboard siding. It has an irregular footprint with hip and gable roof forms. Details include fascia boards; circular wood louver vents in gable ends; wood porch columns; wood shutters; and an attached two-car garage. Alterations include: replacement windows and doors.

243. 511 Harvard Road APN: 34102150 Contributor 1938

Two-story, wood-frame, Eclectic/California Ranch, single-family residence clad in stucco and horizontal wood lap siding. It has an irregular footprint with hip and gable roof forms. Details include an external brick chimney; exposed rafter tails; eclectic massing; a wood panel front door; multi-lite windows; wood shutters; and an attached two-car garage. Alterations include: replacement windows, doors, and cladding.

244. 517 Harvard Road APN: 34102100 Contributor 1927

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; terra cotta vents in gable end; wrought iron grilles over windows; a wrought iron balconette; French doors; a wood balcony with square wood posts, molded wood railings, and exposed rafter tails; a wood panel door within an arched entryway with molded surrounds; and multi-lite windows; and an attached two-car garage. Alterations include: replacement windows and front door.

245. 520 Harvard Road APN: 34072130 Contributor 1936

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; terra cotta vents in gable ends; exposed rafter tails; a front porch with square wood pillars; and multi-lite windows. Related features include a landscaped retaining wall at the front of the parcel and a detached three-car garage at the rear of the parcel. Alterations include: no known alterations.

246. 523 Harvard Road APN: 34102180 Non-Contributor 1973

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a rectangular footprint with a gable roof. Details include a clay tile roof; terra cotta vents in gable ends; and wood brackets with metal embellishments. Related features include a stucco and brick

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retaining wall along the front of the parcel and a detached two-car garage at the rear of the parcel. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

247. 531 Harvard Road APN: 34102130 Contributor 1928

Two-story, wood-frame, Italian Renaissance, single-family residence clad in stucco. It has an L-shaped footprint with a hip roof. Details include a clay tile roof; an external chimney; wood rafter tails; a symmetrical arrangement of the primary façade; a circular covered entry with paired column supports and a molded architrave with medallions; wrought iron balconettes; a glazed wood front door with a wrought iron grille and sidelights; arched fixed windows with molded keystones a bay window; and multi-lite windows. Alterations include: replacement windows and front door.

248. 601 Harvard Road APN: 34102120 Contributor 1935

Split-level, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with a cross-gable roof. Details include a clay tile roof; an external brick chimney; French doors; a metal balconette over the integral two-car garage; wood lintel over garage door; wood panel front door; art glass windows; and multi-lite windows. Alterations include: replacement windows and doors.

249. 609 Harvard Road APN: 34102110 Contributor 1935

Split-level, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; clay tile vents in gable ends; exposed rafter tails; metal balconette over integral two-car garage; wood panel front door behind embellished molded entryway; and multi-lite windows. Alterations include: replacement windows and doors, and a second story addition.

250. 612 Harvard Road APN: 34073110 Contributor 1940

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal wood clapboard and vertical wood board-and-batten siding. It has a generally L-shaped footprint with a gable roof. Details include an external stucco chimney; a molded cornice; a symmetrically arranged primary façade; a wood panel front door with multi-lite sidelights and pilaster surrounds; wood shutters; and an attached two-car garage. Alterations include: replacement windows.

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251. 615 Harvard Road APN: 34102100 Non-Contributor 1997

Split-level, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a wood panel front door with multi-lite sidelights; wood shutters; and an integral two-car garage. Related features include a brick retaining wall along the front of the parcel. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

252. 618 Harvard Road APN: 34073120 Contributor 1945

Two-story, wood-frame, Eclectic, single-family residence clad in stucco and horizontal wood lap siding. It has an irregular footprint with a hip roof. Details include a two two-story portico across primary façade with embellished wood posts; a symmetrical arranged primary façade; a recessed central front door with a stepped molded surround; a patterned molding panel over first floor windows; leaded glass windows over an attached two-car garage. Alterations include: no known alterations.

253. 701 Harvard Road APN: 34103010 Contributor 1949

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco with a brick water table. It has a generally rectangular footprint with a hip roof. Details include a brick external chimney; wood front door with opaque glass sidelights; metal porch posts and railings; and an integral basement-level two-car garage. Alterations include: replacement windows.

Irving Street

254. 205 Irving Street APN: 34034190 Contributor 1941

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco with a brick water table. It has a generally rectangular footprint with a hip roof. Details include an external brick chimney; paired square porch posts; metal porch railings; a metal planter over an integral two-car garage; and wood shutters. Alterations include: replacement windows and doors.

255. 211 Irving Street APN: 34034180 Contributor 1929

Two-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has a generally T-shaped footprint with a cross-gable roof. Details include a clay tile roof; exposed rafter tails; circular lattice vents in gable ends; an arched multi-lite wood front door within a

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central arcaded octagonal turret; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

256. 217 Irving Street APN: 34034170 Contributor 1929

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a steeply-pitched cross-gable roof. Details include internal and external stucco chimneys; half-timbering; stepped molded fascia; dormer window; leaded glass windows; and multi-lite windows. Related features include a detached accessory building at the rear of the parcel. Alterations include: no known alterations.

257. 223 Irving Street APN: 34034160 Contributor 1930

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a n L-shaped footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney with a molded stucco hood; a wood balcony with square wood posts and molded wood railings; an arched entryway within a central one-story turret; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

258. 228 Irving Street APN: 34034060 Contributor 1937

Two-story, wood-frame, Colonial Revival/Monterey Revival, single-family residence clad in brick, vertical and horizontal wood clapboard siding. It has a rectangular footprint with a gable roof. Details include an external brick chimney; a full-length wood balcony with square wood posts and wood railings; French doors; a wood panel front door with a multi-lite clerestory; multi-lite windows; and an attached two-car garage. Alterations include: replacement windows and garage door.

259. 225 Irving Street APN: 34034150 Non-Contributor 1930

Split-level, wood-frame, Contemporary/Mediterranean Revival, single-family residence clad in stucco. It has a generally rectangular footprint with hip and cross-gable roof forms. Details include a clay tile roof; a balconette with columns and balustrades; French doors; arched fixed window with molded surrounds; multi-lite windows; and an integral two-car garage. The building is a non-contributor to the Baywood Historic District because it has been drastically altered, including: major additions and replacement doors.

260. 237 Irving Street APN: 34034140 Contributor 1928

One-story-over-basement, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile

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roof; a stucco chimney with a stucco hood; an arched wood panel door behind an arched entryway within a central square turret; molded cartouche on square turret; and an embellished tripartite window within an embellished recess. Alterations include: replacement windows.

261. 238 Irving Street APN: 34032070 Contributor 1932

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; exposed rafter tails; molded stucco vents and cartouches in gable ends; wrought iron planters; a wood balcony with embellished paired wood posts and molded wood railings; an arcaded entry porch; a wood panel front door; multi-lite windows; wood shutters; and an integral three-car garage. Alterations include: replacement windows and garage door.

262. 243 Irving Street APN: 34034130 Contributor 1928

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a clay tile roof; a stucco chimney with a clay tile hood; molded stucco vents in gable ends; a wood panel front door behind an arched opening in a central rounded turret; and multi-lite windows. Alterations include: no known alterations.

Jackson Street

263. 300 Jackson Street APN: 34024170 Contributor 1947

Two-story, wood-frame, Colonial Revival with Spanish Colonial Revival elements, single-family residence clad in brick. It has a rectangular footprint with a cross-gable roof. Details include a clay tile roof; an external brick chimney; metal planters; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the side of the parcel. Alterations include: no known alterations.

264. 301 Jackson Street APN: 34033010 Non-Contributor Ca. 2019

Two-story, wood-frame, Contemporary, single-family residence clad in wood shake siding and flagstone. It has a generally L-shaped footprint with a cross-gable roof. Details include dormer windows; square porch posts; and an attached two-car garage. The building is of recent construction. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

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265. 320 Jackson Street APN: 34024090 Contributor 1930

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco chimney with a clay tile hood; exposed rafter tails; a wood balcony with square wood posts and wood railings; wrought iron balconettes; wrought iron grilles over windows; an arched entry porch with molded columns; and an integral basement-level three-car garage on the west façade. Alterations include: no known alterations.

266. 419 Jackson Street APN: 34071250 Contributor 1937

Two-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco, brick, and horizontal wood clapboard siding. It has an irregular footprint with hip and gable roof forms. Details include circular multi-lite windows; wood shutters; and an integral basement-level two-car garage. Alterations include: no known alterations.

Kentucky Avenue

267. 503 Kentucky Avenue APN: 34073010 Contributor 1930

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; terra cotta overhangs in gable ends; a wood balcony with wood railings and embellished square wood posts; wrought iron grille over a circular fixed window; and multi-lite windows. Alterations include: replacement windows.

268. 509 Kentucky Avenue APN: 34066040 Contributor 1948

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco and brick. It has a generally H-shaped footprint with a hip roof. Details include an internal brick chimney; a multi-lite wood panel front door; and an integral two-car garage. Alterations include: replacement windows.

269. 510 Kentucky Avenue APN: 34065050 Contributor 1938

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; an external stucco chimney; exposed rafter tails; wood balconies; wrought iron window grilles; with square wood posts and wood railings; an arcaded entry porch; French doors; multi-lite windows; and an integral two-car garage. Alterations include: replacement garage door.

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270. 517 Kentucky Avenue APN: 34066030 Contributor 1947

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco and brick. It has an irregular footprint with a hip roof. Details include an internal brick chimney; embellished paired metal porch posts with metal railings; a multi-lite wood panel front door; an opaque glass block window; wood shutters; and an attached two-car garage. Alterations include: replacement windows and front door.

271. 520 Kentucky Avenue APN: 34065060 Contributor 1940

Split-level, wood-frame, California Ranch, single-family residence clad in stucco, brick, and horizontal wood clapboard siding. It has an irregular footprint with a hip roof. Details include an external brick chimney; exposed rafter tails; a bay window with a flared standing seam metal roof; a wood panel front door with embellished paired metal porch posts; wood planter boxes; and an integral two-car garage. Alterations include: no known alterations.

272. 525 Kentucky Avenue APN: 34066020 Contributor 1945

Split-level, wood-frame, Eclectic, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include an external brick chimney; a wall dormer window; multi-lite windows; and an integral two-car garage. Alterations include: no known alterations.

273. 530 Kentucky Avenue APN: 34065070 Contributor 1948

Two-story, wood-frame, Eclectic/California Ranch, single-family residence clad in stucco and brick. It has an irregular footprint with a hip roof. Details include an external stucco chimney; a wood panel front door with multi-lite sidelights; a bay window over an integral basement-level two-car garage; multi-lite windows; and wood shutters. Alterations include: replacement windows and cladding.

274. 533 Kentucky Avenue APN: 34066010 Non-Contributor 1955

One-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a wood shake roof; a wood panel door with an opaque sidelight within a recessed entryway lined with brick; wood shutters; and an attached two-car garage facing Alameda de las Pulgas. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

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Nevada Avenue

275. 400 Nevada Avenue APN: 34072140 Contributor 1915

One-and-a-half-story, wood-frame, California Ranch, single-family residence clad in stucco. It has a generally L-shaped footprint with a hip roof. Details include multi-lite windows; wood shutters; and an integral two-car garage facing Harvard Road. Related features include a low brick retaining wall along the sides of the parcel along Nevada Avenue and Harvard Road. Alterations include: second story addition.

276. 407 Nevada Avenue APN: 34073100 Contributor 1934

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal wood lap siding. It has a generally rectangular footprint with a gable roof. Details include a solar shingle roof; a wood panel entry door with a multi-lite transom under a gable portico with square wood porch posts; multi-lite windows; wood shutters; and an attached two-car garage. Alterations include: replacement windows and installation of solar shingle roof.

277. 412 Nevada Avenue APN: 34072150 Non-Contributor 1953

Split-level, wood-frame, California Ranch, single-family residence clad in horizontal wood lap siding and brick. It has a generally T-shaped footprint with hip and gable roof forms. Details include a wood shake roof; an external brick chimney; a louvered gable end; exposed rafter tails; wood shutters; and an integral two-car garage. Related features include a low brick retaining wall along the front of the parcel. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

278. 417 Nevada Avenue APN: 34073090 Contributor 1928

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with a cross-gable roof. Details include a clay tile roof; internal and external stucco chimneys; copper gutters; exposed rafter tails; terra cotta and clay tile vents in gable ends; a wood balconette with wood railings; and multi-lite windows. Alterations include: replacement front door.

279. 420 Nevada Avenue APN: 34072160 Non-Contributor 1950

Split-level, wood-frame, California Ranch/Contemporary, single-family residence clad in stucco and vertical wood board-and-batten siding. It has an irregular footprint with hip and gable roof forms. Details include a standing seam metal roof; an internal stucco chimney; a louvered gable end; and an integral two-car garage. Related features include a low concrete retaining wall along the front of the parcel. Alterations include: replacement cladding, roof material, windows, doors,

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and retaining wall. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

280. 423 Nevada Avenue APN: 34073080 Contributor 1945

Split-Level, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include embellished wrought iron porch posts and railings; a metal balconette over an integral two-car garage; and wood shutters. Alterations include: replacement windows, doors, and second story addition.

281. 428 Nevada Avenue APN: 34072170 Non-Contributor N/A

An undeveloped parcel with trees and vegetation. Connected to the adjacent parcel to the southwest addressed 436 Nevada.

282. 429 Nevada Avenue APN: 34073070 Contributor 1931

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally square footprint with hip and gable roof forms. Details include a clay tile roof; an external brick chimney with a black hood; a wood balconette over an integral basement-level one-car garage; and an arcaded entry porch with stucco columns. Alterations include: replacement front door.

283. 435 Nevada Avenue APN: 34073060 Contributor 1938

Split-level, wood-frame, California Ranch, single-family residence clad in horizontal lap and clapboard siding. It has a generally square footprint with a hip roof. Details include an external brick chimney; exposed rafter tails; paired square wood porch posts with geometric lattice; a wood panel door with sidelights; a metal balconette over an integral two-car garage; multi-lite windows; and wood shutters. Alterations include: replacement doors.

284. 436 Nevada Avenue APN: 34072180 Contributor 1935

Two-story-over-basement, wood-frame, Colonial Revival, single-family residence clad in brick. It has an L-shaped footprint with a cross-gable roof. Details include an external brick chimney; gable returns; a symmetrically arranged primary façade; dormer windows; bay windows; wood front door with multi-lite sidelights; multi-lite windows; and an integral basement-level one-car garage. Related features include a double-width parcel and a low flagstone retaining wall along the front of the parcel. Alterations include: replacement front door.

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285. 441 Nevada Avenue APN: 34073050 Non-Contributor 1950

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in vertical wood board-and-batten siding and brick. It has a generally rectangular footprint with hip and gable roof forms. Details include an external brick chimney; a louvered gable end; a wood panel front door with sidelights; embellished square wood porch posts with beveled corners and brick bases; metal porch railings; and an attached two-car garage. Alterations include: replacement doors. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

286. 442 Nevada Avenue APN: 34072190 Contributor 1938

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a wood shake roof; an external brick chimney; copper gutters; half-timbering; bay windows; an arched front door within an arched recess; flagstone surrounds at front door and entryway; and multi-lite windows. Related features include a low rustic stone retaining wall along the front of the parcel and a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

287. 446 Nevada Avenue APN: 34072200 Contributor 1948

One-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a wood shake roof; an external stucco chimney; a wood panel door with opaque lites; a front porch with metal railings; wood shutters; and an attached two-car garage. Related features include a low stone retaining wall along the front of the parcel. Alterations include: no known alterations.

288. 449 Nevada Avenue APN: 34073040 Non-Contributor 1950

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco and brick. It has an irregular footprint with a hip roof. Details include an external brick chimney; a wood panel door with sidelights; a wood lintel over attached two-car garage; and square wood porch posts. Alterations include: replacement garage door. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

289. 455 Nevada Avenue APN: 34073030 Contributor 1948

Two-story, wood-frame, California Ranch, single-family residence clad in stucco and brick. It has a T-shaped footprint with a hip roof. Details include an internal brick chimney; a partially glazed wood panel front door; embellished paired metal porch posts; wood shutters; and an integral two-car garage. Alterations include: replacement windows, doors, and roof material.

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290. 458 Nevada Avenue APN: 34072210 Contributor 1949

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco with a brick water table. It has a generally L-shaped footprint with a cross-gable roof. Details include an internal stucco chimney; a front porch with wood railings; a wood panel front door with molded wood pediment surrounds; and an attached two-car garage. Alterations include replacement doors and non-original pergola over garage door.

291. 461 Nevada Avenue APN: 34073020 Contributor 1941

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco and horizontal wood drop siding. It has a U-shaped footprint with hip and gable roof forms. Details include a wood shake roof; a box bay window; and an integral two-car garage. Alterations include: windows.

292. 462 Nevada Avenue APN: 34072220 Contributor 1928

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally T-shaped footprint with a cross-gable roof. Details include a clay tile roof; an external brick chimney; exposed rafter tails; a wrought iron grille over an octagonal window within an octagonal recess; French doors; wrought iron balconette over integral one-car garage; an arched wood panel door within an embellished recess; multi-lite windows; and wood shutters. Related features include a low stone retaining wall along the front of the parcel. Alterations include: no known alterations.

293. 506 Nevada Avenue APN: 34072230 Contributor 1930

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco and brick chimney with painted ties; exposed rafter tails; a molded stucco cornice and eave returns; a circular fixed window with a wrought iron grille in the primary gable end; metal balconettes; an arcaded entryway with metal railings; a wood balcony with embellished wood posts and metal railings over an integral on-car garage; painted tile on entry steps; and multi-lite windows. Related features include a low stucco retaining wall with integral planters and topped with brick veneer along the front of the parcel. Alterations include: replacement windows and garage door.

294. 512 Nevada Avenue APN: 34072240 Contributor 1936

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco and vertical wood board-and-batten siding over the integral two-car garage. It has an irregular footprint with hip and cross-gable roof forms. Details include an external brick chimney; and square porch

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posts with wrought iron embellishments and railings. Related features include a low concrete retaining wall lined with brick veneer along the front of the parcel. Alterations include: replacement doors.

295. 518 Nevada Avenue APN: 34072250 Non-Contributor 1963

Split-level, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; an arched entry porch with Tuscan columns; a metal balconette; multi-lite windows; wood shutters; and an integral two-car garage. Related features include a low stucco retaining wall along the front of the parcel. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

296. 519 Nevada Avenue APN: 34065040 Contributor 1938

Two-story-over-basement, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include an internal stucco chimney; multi-lite windows; and an integral basement-level two-car garage. Alterations include: replacement windows and doors.

297. 522 Nevada Avenue APN: 34072260 Contributor 1940

Two-story-over-basement, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include exposed rafter tails; a bay window; and an integral basement-level two-car garage. Related features include a low concrete retaining wall along the front of the parcel. Alterations include: no known alterations.

298. 528 Nevada Avenue APN: 34064080 Contributor 1929

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include exposed rafter tails; a bay window; and an integral basement-level two-car garage. Related features include a low concrete retaining wall along the front of the parcel. Alterations include: no known alterations.

299. 531 Nevada Avenue APN: 34065030 Contributor 1937

Two-story-over-basement, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with a steeply pitched hip roof. Details include a clay tile roof; internal and external stucco chimneys with stucco and brick hoods; wrought iron grilles over windows; wood balcony with embellished wood railings and posts; and an arched wood

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door within an arched recess. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

300. 536 Nevada Avenue APN: 34064090 Contributor 1931  
Architect: Dennis & Schoening Builder: Floyd Van Welder  
Original owner: Mr. & Mrs. Harold Wole

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a T-shaped footprint with hip and gable roof forms. Details include a clay tile roof; internal and external stucco chimneys with stucco and brick hoods; stucco and wrought iron railings; a wood balcony with embellished wood posts and railings; French doors; a stucco molded arch over arched fixed window on the primary gable end; and multi-lite windows. Related features include a landscaped retaining wall along the front of the parcel. Alterations include: replacement windows.

301. 541 Nevada Avenue APN: 34065000 Non-Contributor 1945

Split-level, wood-frame, Contemporary, single-family residence clad in stucco. It has a generally square footprint with a hip roof. Details include an external stucco chimney; a wood panel front door with stucco columns; and an integral two-car garage. The building is a non-contributor to the Baywood Historic District because it has been drastically altered, including: replacement windows, doors, and major second story additions.

302. 544 Nevada Avenue APN: 34064100 Contributor 1937

Split-level, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external brick chimney; exposed rafter tails; a bay window over the integral two-car garage; a wood panel front door with opaque sidelights; and multi-lite windows. Related features include a low concrete retaining wall topped with brick along the front of the parcel. Alterations include: replacement windows and doors.

303. 551 Nevada Avenue APN: 34065010 Contributor 1946

One-story-over-basement, wood-frame, California Revival, single-family residence clad in stucco and brick. It has an irregular footprint with a hip roof. Details include an external brick chimney; a wood panel front door with opaque glass block sidelights; and an integral basement-level two-car garage. Alterations include: replacement windows and doors.

304. 552 Nevada Avenue APN: 34064110 Contributor 1930

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an

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external stucco chimney with a stucco and clay tile hood; terra cotta vents in gable ends and beneath cornice of a central turret; a molded stucco cornice; painted tile entry steps; a wood plank front door behind an arched opening in central turret; and an integral one-car garage. Alterations include: replacement windows and garage door.

Parrott Drive

305. 221 Parrott Drive APN: 34086100 Contributor 1945

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal wood clapboard siding. It has a generally rectangular footprint with a steeply pitched gable roof. Details include an external brick chimney; inset dormer windows; multi-lite transom over wood panel door; multi-lite windows; wood shutters; and an attached two-car garage. Alterations include: replacement windows and doors.

306. 227 Parrott Drive APN: 34086090 Contributor 1948

One-story, wood-frame, French Provincial, single-family residence clad in stucco. It has an irregular footprint with a steeply pitched hip roof. Details include an internal brick chimney; stucco quoins; multi-lite windows; wood shutters; and an integral one-car garage. Alterations include: no known alterations.

307. 235 Parrott Drive APN: 34086080 Contributor 1947

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco with a brick water table. It has an irregular footprint with a hip roof. Details include a wood shake roof; an external brick chimney; wrought-iron Balconette over an integral two-car garage; a recessed brick entry porch with sidelights; fascia board over garage door; multi-lite windows; and wood shutters. Alterations include: replacement windows.

308. 236 Parrott Drive APN: 34084080 Contributor 1941

Two-story, wood-frame, Streamline Moderne, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof. Details include an external stucco chimney; a large curved bay window at northeast corner of building; circular multi-lite windows; glass block

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window over primary entrance; wood panel front door with circular lite; and an integral two-car garage. Alterations include: replacement windows.

309. 244 Parrott Drive APN: 34084090 Contributor 1934

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; terra cotta vents in gable ends; a wood balcony with wood posts and railings over primary entrance; a recessed arched entry; French doors; and multi-lite windows. Alterations include: replacement windows and doors.

310. 245 Parrott Drive APN: 34086070 Contributor 1933

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with gable and hip roof forms. Details include a clay tile roof; an external stucco chimney; shaped wood brackets under eaves; wood lintels over windows; and French Door at wrought iron balconette over integral two-car garage. Alterations include: no known alterations.

311. 251 Parrott Drive APN: 34086050 Contributor 1929  
Architect: George E. Ralph

Two-and-a-half-story, wood-frame, French Eclectic and Tudor Revival, single-family residence clad in stucco. It has a rectangular footprint with hip and gable roof forms. Details include a slate roof; an external stucco chimney; bay windows; flared roof over entryway; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel, facing Franklin Street, and a covered walkway connecting the garage to the primary building. Alterations include: no known alterations.

312. 252 Parrott Drive APN: 34084100 Non-Contributor 1952

One-story, wood-frame, California Ranch, single-family residence clad in stucco with a brick water table. It has a U-shaped footprint with a hip roof. Details include an external brick chimney; wrought iron porch posts; brick surrounds at entrance; and an integral two-car garage. Alterations include: replacement windows and garage door. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

313. 305 Parrott Drive APN: 34101110 Contributor 1938

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; an external brick chimney; an arcade at entry porch; a wood balcony with wood railings and posts that wraps around the

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northwest corner; and wrought iron grilles over windows. Related features include a detached two-car garage at the rear of the parcel, facing Franklin Street. Alterations include: no known alterations.

314. 311 Parrott Drive APN: 34101100 Contributor 1932  
Architect: C. O. Clausen Builder: Aetna Construction Company  
Original owner: D. Jungburger

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally square footprint with gable and hip roof forms. Details include an external stucco chimney with brick trim; half-timbering; carved bargeboard with scalloped edging; a carved wood finial at gable peak; buttressing along chimney; a recessed entry door within brick clad wall with patterned brick surround; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

315. 319 Parrott Drive APN: 34101000 Contributor 1927

Two-story, wood-frame, Monterey Revival, single-family residence clad in stucco. It has a U-shaped footprint with a cross-gable roof. Details include a clay tile roof; a symmetrical primary façade; a second story balcony over entry porch with wood railings and posts; an arcade at entry porch; wrought iron balconettes; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

316. 320 Parrott Drive APN: 34083110 Contributor 1938

Two-story, wood-frame, French Provincial, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external brick chimney; a wrought iron balconette with French doors over primary entrance; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

317. 325 Parrott Drive APN: 34101080 Contributor 1928

One-story-over-basement, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has a generally rectangular footprint with hip and cross-gable roof forms. Details include a clay tile roof; an external stucco chimney; a large projecting bay window; a wood balcony with wood railings on north façade; a multi-lite wood door; and a recessed entry within a

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central square turret. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

318. 326 Parrott Drive APN: 34083120 Contributor 1927  
Builder: The Baywood Park Company

Two-story, wood-frame, Eclectic/Tudor Revival, single-family residence clad in stucco. It has a generally square footprint with a cross-gable roof. Details include a wood shake roof with wood shake rakes; an arched recessed entryway with molded stucco surrounds; an angled bay window; leaded glass windows; and multi-lite windows. Related features include a detached three-car garage at the rear of the parcel. Alterations include: no known alterations.

319. 331 Parrott Drive APN: 34101070 Non-Contributor 1969

One-story-over-basement, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has a T-shaped footprint with a cross-gable roof. Details include an external stucco chimney; metal balconettes over the integral two-car garage; and square posts at the entry porch. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

320. 334 Parrott Drive APN: 34083130 Contributor 1946

Two-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an L-shaped footprint with a cross-gable roof. Details include a wood shake roof; an external brick chimney; and a covered entry porch with square wood posts. Alterations include: non-original covered entry porch added ca. 2013, cladding replaced at first story, replacement front door, wood shutters removed.

321. 339 Parrott Drive APN: 34101060 Non-Contributor 1952

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in brick and stucco. It has a generally rectangular footprint with a hip roof. Details include horizontal siding on bulkheads over integral two-car garage; and a covered entry porch. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

322. 342 Parrott Drive APN: 34083140 Contributor 1927

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; a wrought iron balconette over the primary entrance; a wood plank door; an angled bay

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window northeast of the entrance; and multi-lite windows. Related features include a detached one-car garage at the rear of the parcel. Alterations include: replacement windows.

323. 345 Parrott Drive APN: 34101050 Contributor 1937

Two-story, wood-frame, French Eclectic and Minimal Traditional, single-family residence clad in brick and stucco. It has an L-shaped footprint with a hip roof. Details include an external brick chimney; a flared metal roof over entryway with paired wood columns and wrought iron railings; wrought iron Balconettes at French doors and windows on first and second stories; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows, cladding, and front door.

324. 351 Parrott Drive APN: 34101040 Non-Contributor Ca. 2013

One-story, wood-frame, Contemporary, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a projecting window at the primary façade; a covered entry porch; and an integral two-car garage. Related features include a retaining wall set back within the front yard. The building is of recent construction. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

325. 354 Parrott Drive APN: 34083200 Contributor 1927

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; varied massing; colored tile at front steps; wrought iron entry gate; a cartouche over wood panel entry door; wrought iron window grilles; and shaped wood mullions between some windows at the first floor. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and doors.

326. 359 Parrott Drive APN: 34101030 Contributor 1940

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal wood clapboard. It has an L-shaped footprint with gable and hip roof forms. Details include an external brick chimney; a symmetrical primary façade; a recessed pedimented entry with pilasters; multi-lite windows; wood shutters; and an attached two car garage with a dormer window. Alterations include: replacement windows.

327. 360 Parrott Drive APN: 34083190 Non-Contributor 1973

Two-story, wood-frame, Contemporary/Mediterranean Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an

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external chimney; and an attached two-car garage. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

328. 365 Parrott Drive APN: 34101020 Non-Contributor 1950

One-story, wood-frame, California Ranch, single-family residence clad in board-and-batten siding and brick with a board-and-batten water table. It has an irregular footprint with gable and hip roof forms. Details include an external brick chimney; a louvered gable end; square wood porch posts with embellishments; a wood panel door within a recessed entry with sidelights; and an integral two-car garage. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

329. 370 Parrott Drive APN: 34083170 Contributor 1948

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco and brick. It has a generally rectangular footprint with a hip roof. Details include an angled bay window with medallions in the bulkheads over integral two-car garage, and a partially glazed wood panel door with sidelights. Alterations include: no known alterations.

330. 373 Parrott Drive APN: 34101010 Contributor 1928

Three-story, wood-frame, Colonial Revival, single-family residence clad in horizontal lap wood siding. It has an irregular footprint with a cross-gable roof. Details include a wood shake roof; an external brick chimney; a symmetrical primary façade; dormer windows; a sun porch and deck with decorative wood railings on the southwest façade; an entryway within a projecting gable with an arched opening and pilasters; an arched wood panel entry door with leaded glass sidelights; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

331. 374 Parrott Drive APN: 34083180 Contributor 1936

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a U-shaped footprint with hip and gable roof forms. Details include a clay tile roof; an external brick chimney; exposed rafter tails; a wood balcony with wood posts and railings at the interior of the U-shaped footprint at the second story; multi-lite windows; and an integral two-car garage. Alterations include: replacement windows.

332. 401 Parrott Drive APN: 34071120 Contributor 1929

Two-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has an irregular footprint with gable and hip roof forms. Details include a clay tile roof; exposed rafter

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tails; a wood door with a wrought iron grille; molded stucco vents; a wood balcony with wood posts and railings; a large round turret at the center of the primary façade; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel, facing Harvard Road. Alterations include: replacement windows and roof material.

333. 402 Parrott Drive APN: 34033130 Contributor 1936

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a wood shake roof; rectangular terra cotta vents in gable end; half-timbering; fascia boards; a square bay window with leaded glass windows; multi-lite windows; and an attached one-car garage. Related features include a detached two-car garage at the rear of the parcel, facing Harvard Road. Alterations include: replacement windows.

334. 411 Parrott Drive APN: 34071110 Contributor 1947

Two-story, wood-frame, Eclectic/California Ranch, single-family residence clad in stucco and lapped wood siding. It has a generally rectangular footprint with a cross-gable roof. Details include a covered entry porch; ribbon windows at the second story; and an attached two-car garage. Alterations include: replacement doors, windows, and porch railings.

335. 412 Parrott Drive APN: 34033140 Contributor 1948

Two-story, wood-frame, California Ranch, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof. Details include a brick exterior chimney; a recessed main entry; and an attached two-car garage. Alterations include: replacement doors and second-story addition.

336. 421 Parrott Drive APN: 34071100 Contributor 1933

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; external and internal stucco chimneys; exposed rafter tails; copper gutters; a recessed arched entryway; wrought iron railings at entry stairs; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

337. 422 Parrott Drive APN: 34033150 Contributor 1928  
Builder: Peterson & Hurbin

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with cross-gable and hip roof. Details include a clay tile roof; decorative

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multicolor tile at entry door and entry stairs; a wood panel entry door; wrought iron balconettes; and multi-lite windows Alterations include: no known alterations.

338. 427 Parrott Drive APN: 34071090 Contributor 1937

Split-level, wood-frame, California Ranch, single-family residence clad in stucco and brick. It has a generally rectangular footprint with a hip roof. Details include an external brick chimney; wood entry door within a recessed molded frame; a porch over the integral two-car garage with a low solid railing; and multi-lite windows. Alterations include: no known alterations.

339. 433 Parrott Drive APN: 34071080 Contributor 1936

Two-story, wood-frame, Eclectic, single-family residence clad in brick with stucco and board-and-batten siding at parts of the second story. It has an irregular footprint with a hip roof. Details include a wide front porch with wood columns; a metal balcony with paired square posts at the second story; multi-lite windows; and wood shutters. Alterations include: replacement windows and cladding.

340. 439 Parrott Drive APN: 34071070 Contributor 1941

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco and horizontal wood clapboard siding. It has a generally rectangular footprint with a hip roof. Details include a wood shake roof; and a balcony with a low solid railing over integral two-car garage. Alterations include: replacement doors.

341. 442 Parrott Drive APN: 34033160 Contributor 1928

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with cross-gable and hip roof forms. Details include a clay tile roof; internal stucco chimneys; clay tile vents in gable ends; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows and doors.

342. 445 Parrott Drive APN: 34071060 Non-Contributor 1951

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in brick and horizontal wood lap siding. It has a U-shaped footprint with a hip roof. Details include a recessed entry; and a bay window over an integral two-car garage. Alterations include:

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replacement windows and front door. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

343. 450 Parrott Drive APN: 34033170 Non-Contributor 1928

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; exposed rafter tails; French doors; a recessed arched entryway with painted tile surrounds; and an integral two-car garage. The building is a non-contributor to the Baywood Historic District because it has been drastically altered, including: recently remodeled, form and details altered.

344. 453 Parrott Drive APN: 34071050 Non-Contributor 1954

One-story-over-basement, wood-frame, Eclectic/California Ranch, single-family residence clad in stucco with a brick water table. It has an irregular footprint with a hip roof. Details include an arched recessed entryway; knee brackets; wood shutters; and an integral two-car garage. Alterations include: replacement doors and windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

345. 458 Parrott Drive APN: 34033180 Non-Contributor 1951

One-story, wood-frame, California Ranch, single-family residence clad in stucco with a brick water table. It has an irregular footprint with a hip roof. Details include internal and external stucco chimneys; and a recessed entry. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

346. 459 Parrott Drive APN: 34071040 Contributor 1930  
Architect: Charles Strothoff Builder: Original owner: Charles Harrison

Two-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has an irregular footprint with gable and hip roof forms. Details include a clay tile roof; an external stucco chimney; exposed rafter tails; arched openings at the recessed entryway; polychrome painted tile within window and entryway openings; multi-lite casement windows; and an integral two-car garage. Alterations include: replacement windows and garage doors.

347. 465 Parrott Drive APN: 34071030 Non-Contributor 1955

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco with a brick water table. It has an irregular footprint with a hip roof. Details wrought iron railings; wood shutters; and an integral two-car garage. Alterations include: no known

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alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

348. 466 Parrott Drive APN: 34033190 Contributor 1930

Two-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; wrought iron balconettes; bay window; wood balcony with wood posts and railings over entryway; and multiple windows. Alterations include: replacement door.

349. 471 Parrott Drive APN: 34071020 Contributor 1928

Two-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has an L-shaped footprint with a hip roof. Details include a clay tile roof; French doors with transoms; wrought iron grille over circular window on second story and first story windows; molded panels at recessed entryway; wrought iron railings at porch and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

350. 472 Parrott Drive APN: 34033200 Non-Contributor 1959

One-story, wood-frame, California Ranch, single-family residence clad in horizontal wood lap siding. It has a generally U-shaped footprint with a hip roof. Details include an internal chimney and an integral two-car garage. Alterations include: replacement windows and doors, solar panels. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

351. 478 Parrott Drive APN: 34033210 Contributor 1938

Two-story, wood-frame, Colonial Revival, single-family residence clad in brick at the first story and channel-top siding at the second story. It has an L-shaped footprint with a hip roof. Details include external and internal chimneys; wood entry surround with attached columns and denticulated cornice; wood panel entryway; and wood shutters. Alterations include: replacement window.

352. 486 Parrott Drive APN: 34033220 Contributor 1939

Two-story, wood-frame, Monterey Revival, single-family residence clad in horizontal lap siding. It has a generally rectangular footprint with a hip roof. Details include exposed rafter tails; a second story porch with wood posts and metal railings; a bay window with a metal flared roof and scalloped edge detailing; a large entry surrounded with pilasters and a denticulated cornice; a

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wood panel entry door with sidelights; multi-lite windows; and wood shutters. Alterations include: no known alterations.

353. 491 Parrott Drive APN: 34071010 Contributor 1946

One-story-over-partial-basement, wood-frame, California Ranch, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof. Details include an external stucco chimney; paired square porch posts; metal porch railings; and wood shutters. Related features include a brick retaining wall dividing the front lawn and wrapping around Jackson street, and a detached two-car garage at the rear of the parcel, facing Jackson Street. Alterations include: replacement windows and garage door; replacement of wood shak roof with composition shingles; and installation of solar panels.

354. 492 Parrott Drive APN: 34033230 Contributor 1929

Two-story, wood-frame, Colonial Revival, single-family residence clad in stucco. It has a generally rectangular footprint with a cross-gable roof. Details include a standing seam metal roof; symmetrical main volume of primary facade; dormer windows; central entry with scrolled pediment, fanlight, and sidelights; multi-lite windows; wood shutters; and an integral two-car garage facing Jackson Street. Alterations include: replacement windows and replacement roof material.

355. 505 Parrott Drive APN: 34063080 Contributor 1948

One-and-a-half-story, wood-frame, California Ranch, single-family residence clad in stucco and horizontal wood drop siding. It has an irregular footprint with a hip roof. Details include an external brick chimney; a recessed entry; wood shutters; and an integral two-car garage. Alterations include: replacement windows.

356. 511 Parrott Drive APN: 34063070 Contributor 1937

Two-story, wood-frame, Colonial Revival, single-family residence clad in brick. It has an irregular footprint with a cross-gable roof. Details include two external chimneys; a symmetrically arranged primary facade; angled bay windows; a wood panel door with a carved wood fan motif above; multi-lite windows; wood shutters; and an attached two-car garage. Related features include partial brick retaining walls in front yard. Alterations include: no known alterations.

357. 512 Parrott Drive APN: 34024100 Contributor 1928

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include an external brick chimney; half-

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timbering; nested gables; a pointed arch opening to entry vestibule; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

358. 517 Parrott Drive APN: 34063060 Contributor 1940

Two-story, wood-frame, Colonial Revival, single-family residence clad in horizontal wood lap siding. It has a generally rectangular footprint with a steeply pitched cross-gable roof. Details include an internal chimney; a symmetrically arranged primary façade; dormer windows; multi-lite partially glazed wood panel door with sidelights; dentil moldings at roofline of main building and attached two-car garage; multi-lite windows; wood shutters. Alterations include: no known alterations.

359. 518 Parrott Drive APN: 34024110 Contributor 1935

Two-story-over-basement, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with steeply pitched hip and gable roof forms. Details include an internal brick chimney; half-timbering; a brick entry surround with crenellations; and multi-lite windows. Alterations include: replacement windows.

360. 523 Parrott Drive APN: 34063050 Non-Contributor 1953

Two-story-over-basement, wood-frame, California Ranch, single-family residence clad in vertical board-and-batten siding and stucco with a brick water table. It has a generally rectangular footprint with a cross-gable roof. Details include an external stucco chimney; modern concrete entry stairs with metal railings; and an integral two-car garage. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

361. 520 Parrott Drive APN: 34024120 Contributor 1933

Two-story-over-basement, wood-frame, Monterey Revival/California Ranch, single-family residence clad in brick and stucco. It has a generally L-shaped footprint with hip and gable roof forms. Details include a wood shake roof; wood balcony at the second story with square wood posts and metal railings; multi-lite windows; and wood shutters. Alterations include: replacement porch material.

362. 531 Parrott Drive APN: 34063040 Contributor 1945

Two-story, wood-frame, English Cottage, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a wood shake roof; an external brick chimney; horizontal wood drop siding in gable ends; a decorative wood arbor feature at primary

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façade; multi-lite windows; wood shutters; and an attached two-car garage. Alterations include: replacement windows.

363. 532 Parrott Drive APN: 34024130 Contributor 1929

One-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; terra cotta vents in gable ends; a decorative arched molded stucco entryway, and multi-lite windows. Alterations include: replacement windows and front door.

364. 540 Parrott Drive APN: 34024140 Contributor 1929

One-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; wood lintels; arched wood plank entry door with a central rounded tower vestibule with arched opening; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

365. 541 Parrott Drive APN: 34063030 Contributor 1947

One-story-over-garage, wood-frame, Eclectic/Minimal Traditional, single-family residence clad in stucco. It has a generally rectangular footprint with hip and gable roof forms. Details include an external stucco and brick chimney; covered entry porch with paired square wood posts and wood railings; lintel over integral two-car garage; and wood shutters. Alterations include: replacement windows, doors, and solar panels.

366. 548 Parrott Drive APN: 34024150 Non-Contributor 1951

One-story, wood-frame, California Ranch, single-family residence clad in horizontal wood drop siding and brick. It has an irregular footprint with a hip roof. Details include a covered entry porch with square wood posts; and an attached two-car garage. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

367. 551 Parrott Drive APN: 34063020 Contributor 1949

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco. It has a U-shaped footprint with a hip roof. Details include a central covered porch with square

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wood posts and wrought iron railings; wrought iron balconette over integral two-car garage; and wood shutters. Alterations include: replacement windows.

368. 556 Parrott Drive APN: 34024160 Non-Contributor 1954

Two-story, wood-frame, single-family residence clad in stucco. The building does not demonstrate a particular style. It has a generally rectangular footprint with a hip roof. Details include dormer windows; and an ornate entry with Corinthian columns. Alterations include: extensive renovation completed ca. 2008; building was enlarged and redesigned with new windows, doors, details, and cladding. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

Virginia Avenue

369. 228 Virginia Avenue APN: 34086000 Contributor 1941

Split-level, wood-frame, Eclectic, single-family residence clad in stucco. It has a generally rectangular footprint with hip and gable roof forms. Details include an external brick chimney; a wood balcony with square wood posts and railings over integral one-car garage; a portico with a flared standing-seam metal roof with paired square posts; a wood panel entry with sidelights; multi-lite windows; and wood shutters. Alterations include: replacement garage door.

370. 232 Virginia Avenue APN: 34086030 Contributor 1936

Split-level, wood-frame, Eclectic/Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include an external stucco chimney with brick trim; half-timbering; French doors beneath a segmental-arched multi-lite window open to a balconette with wood lattice railings and supported by wood braces within the primary gable end; low sections of decorative brick walls beneath half-timbering at entry porch; a wood balconette with wood railings over integral one-car garage; flagstone cladding around garage door and adjacent to entry stairs; and multi-lite windows. Alterations include: no known alterations.

371. 238 Virginia Avenue APN: 34086040 Contributor 1931

Two-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof with rake tiles; an external brick chimney; exposed rafter tails; a wood balcony with paired square wood posts and molded wood railings; molded spiral column between French doors at balcony; molded

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stucco cornice with medallions at central square turret; and multi-lite windows. Alterations include: replacement front door and chimney hood.

372. 244 Virginia Avenue APN: 34086050 Contributor 1935  
Architect: E. H. Denke

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally L-shape footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney with a clay tile hood; exposed rafter tails; copper gutters; an arched entryway with molded stucco surrounds within the central rounded turret; a wood balcony with wood posts and metal railings; wrought iron balconettes; leaded glass windows; multi-lite windows; and an attached two-car garage. Alterations include: replacement windows and garage doors.

373. 253 Virginia Avenue APN: 34111190 Contributor 1931

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco chimney; exposed rafter tails; copper gutters; stucco columns at entry porch; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the side of the parcel; facing W 5th Avenue. Alterations include: replacement windows and doors.

374. 262 Virginia Avenue APN: 34101130 Contributor 1928

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco chimney; a wrought iron balconette with French doors; embellished square porch posts; wood porch railing; wrought iron grille over windows on second story; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement front door.

375. 303 Virginia Avenue APN: 34104010 Non-Contributor 1951

One-and-a-half-story, wood-frame, Eclectic/French Provincial, single-family residence clad in stucco. It has a generally T-shaped footprint with steeply sloped hip and gable roof forms. Details include a brick external chimney; stucco quoining; multi-lite windows; and an integral two-car garage. Alterations include: replacement windows and garage door. The building is a

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non-contributor to the Baywood Historic District because it was built after the period of significance.

376. 310 Virginia Avenue APN: 34101140 Contributor 1930

Two-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco chimney; exposed rafter tails; copper gutters; wood panel door with sidelights within recessed entryway through an embellished molded stucco arch; wrought iron balconettes; French doors; multi-lite fixed windows; wood shutters; and an attached two-car garage at the rear façade. Alterations include: replacement front door.

377. 315 Virginia Avenue APN: 34104250 Contributor 1949

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco with a brick water table. It has an irregular footprint with a cross-gable roof. Details include a brick external chimney; horizontal wood drop siding in gable end; wrought iron Balconette over integral two-car garage; wrought iron porch posts with floral cutouts; multi-lite windows; and wood shutters. Alterations include: replacement window and garage door.

378. 316 Virginia Avenue APN: 34101150 Contributor 1945

One-story, wood-frame, French Provincial and Tudor Revival, single-family residence clad in stucco and brick. It has an irregular footprint with a steeply sloped hip roof. Details include an external brick chimney; half-timbering; a wood door within a portico with a molded wood arch and square porch posts. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

379. 323 Virginia Avenue APN: 34104260 Contributor 1930  
Architect: E. E. Cavasso Builder: The Minton Company  
Original owner: Mr. & Mrs. N. W. Schneider

Two-story, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has a T-shaped footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco chimney; exposed rafter tails; arcade with spiral column supports at entry; carved lintels at some second story windows; wrought iron grille over second story window; arched door within recessed entryway behind arched opening in central rounded turret; wrought iron porch railings; paired arched fixed windows with molded columns with spiral shafts in mullions; and multi-lite windows. Related features include a low stucco wall enclosing the west façade and

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entry porch with a wrought iron gate leading to the intersection of Virginia Avenue and Fordham Road. Alterations include: replacement windows and doors.

380. 324 Virginia Avenue APN: 34101160 Non-Contributor 1950

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco with a brick water table. It has an irregular footprint with a hip roof. Details include an external stucco chimney; a metal planter over integral two-car garage; a wood panel front door and wrought iron railings at entry steps. Alterations include: replacement garage door. This building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

381. 332 Virginia Avenue APN: 34101170 Contributor 1929

Two-story, wood-frame, French Provincial and Norman, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external stucco chimney; stucco quoining; a curved entry vestibule with a recessed primary entrance door; a one-story brick addition at the south of the main massing; large decorative carved wood mullions with cross pattern in first floor window arrangements; multi-lite windows; and wood shutters. Alterations include: no known alterations.

382. 335 Virginia Avenue APN: 34101190 Contributor 1927  
Builder: Thomas A. Cavanaugh  
This was the first residence completed in Baywood.

Two-story, wood-frame, Colonial Revival, single-family residence clad in brick. It has an irregular footprint with a cross-gable roof. Details include two external brick chimneys; a symmetrical arrangement of the primary façade a central entryway with a wood panel door with sidelights and a translight with columnar surrounds; multi-lite windows; wood shutters, and an integral two-car garage. Alterations include: replacement windows.

383. 338 Virginia Avenue APN: 34101180 Contributor 1949

One-story, wood-frame, California Ranch, single-family residence clad in stucco with a brick water table. It has an irregular footprint with a hip roof. Details include large window groupings; a profiled entry enframingent with a projecting wood trellis feature over the entry opening; a

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recessed primary entrance with textured glass sidelights and wood door; and brick planters at front steps. Alterations include: no known alterations.

384. 343 Virginia Avenue APN: 34103180 Contributor 1931  
Builder: Thomas A. Cavanaugh

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an L-shaped footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney with brick detailing; molded stucco vents in gable ends; a wood balcony with wood posts and wood railings over the primary entrance; an arched wood plank door with a wrought iron grille within an arched recess; painted tile at entry steps; a wrought iron grille over circular window at the primary facade; multi-lite window; and wood shutters. Alterations include: no known alterations.

385. 344 Virginia Avenue APN: 34101190 Contributor 1932

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco chimney with a brick hood; exposed rafter tails; arched double doorway with molded stucco surrounds; a wrought iron grille over a circular fixed window; a wood balcony with wood posts and railings; and multi-lite windows. Alterations include: replacement doors and windows.

386. 352 Virginia Avenue APN: 34101200 Contributor 1932

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally square footprint with hip and cross-gable roof forms. Details include a clay tile roof; an external stucco chimney; exposed rafter tails; a metal balconette with French doors; vertical wood siding with scalloped bottoms in street facing gable end; a wrought iron grille over window next to recessed entry; multi-lite windows; and wood shutters. Alterations include: replacement doors.

387. 360 Virginia Avenue APN: 3410160 Non-Contributor 1951

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco and stone. It has an irregular footprint with a hip roof. Details include a wood shake roof; a recessed entry; wood shutters; and an integral basement-level two-car garage. Alterations

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include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

388. 365 Virginia Avenue APN: 34102010 Contributor 1930  
Builder: J. C. Wells

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney with molded stucco embellishments; terra cotta vents in gable end; wood and stucco balcony with embellished carved wood posts and wood railings; a stucco arcade at the entry porch; central circular turret with leaded glass windows; multi-lite windows; rustic wood shutters; and an attached two-car garage. Alterations include: replacement windows.

389. 366 Virginia Avenue APN: 34101220 Contributor 1930

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; second floor balcony and side façade with wood posts and metal railings; an arched wood door within an arched recess and an arched stucco hood; and multi-lite windows. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

390. 372 Virginia Avenue APN: 34101230 Non-Contributor 1953

One-story-over-basement, wood frame, California Ranch, single-family residence clad in stucco and brick. It has a T-shaped with hip and gable roof forms. Details include an external brick chimney; square posts and wrought iron railings at entry porch; and an integral two-car garage. Alterations include: replacement front door. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

391. 375 Virginia Avenue APN: 34102170 Contributor 1933  
Architect: Harold G. Stoner Builder: Arthur Scott

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; an external stucco chimney; exposed rafter tails; molded wood embellishments in mullions; elaborate molded stucco embellishments around complex arched entryway; and a wrought iron

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railing and wood-frame arched French doors at a balcony over an integral basement-level two-car garage. Alterations include: replacement windows and front door.

392. 380 Virginia Avenue APN: 34101240 Contributor 1948

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco. It has a generally rectangular footprint with a hip roof. Details include an internal stucco chimney; recessed entry door with sidelights; wrought iron entry railings; and an integral basement-level two-car garage. Alterations include: no known alterations.

393. 385 Virginia Avenue APN: 34192169 Contributor 1947

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a clay tile roof; copper gutters; an arched entryway within a central rounded turret; a wrought iron grille over circular louver vent in turret; and French doors and wrought iron balconettes over an integral basement-level two-car garage. Alterations include: replacement doors.

394. 400 Virginia Avenue APN: 34071130 Contributor 1948

One-story, wood-frame, California Ranch, single-family residence clad in stucco with vertical board-and-batten siding at the front porch with a brick water table. It has an irregular footprint with a hip roof. Details include an external stucco chimney; a wood plank front door with sidelights; square porch posts; and wood shutters. Alterations include: replacement windows and doors.

395. 407 Virginia Avenue APN: 34072120 Non-Contributor 1951

One-story, wood-frame, California Ranch, single-family residence clad in stucco and wood lap siding. It has an irregular footprint with a hip roof. Details include an external brick chimney; wood shutters; and an attached two-car garage facing Harvard Road. Related features include a low brick retaining wall lining the parcel along Virginia Avenue and Harvard Road. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

396. 412 Virginia Avenue APN: 34071140 Contributor 1936

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a wood shake roof; an internal stucco chimney; copper gutters; half-timbering; vertical drop siding in the primary gable end; a balcony

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with a low solid half-timbered railing; multi-lite windows; and an integral one-car garage. Alterations include: replacement windows.

397. 417 Virginia Avenue APN: 34072110 Contributor 1940

One-story-over-basement, wood-frame, French Provincial and Minimal Traditional, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external stucco chimney with stucco moldings at the hood; stucco quoining; a bay window with a herringbone brick bulkhead; paired square wood posts with wrought iron embellishments at entry and wrought iron railings at entry landing; a wood panel door with opaque sidelights; a wrought iron balconette; a corner porch with square wood posts with wrought iron embellishments and a wrought iron railing; and an attached two-car garage. Alterations include: replacement windows and front door.

398. 418 Virginia Avenue APN: 34071150 Contributor 1936

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include an internal stucco chimney with a molded wood cornice; terra cotta vents in gable ends; exposed rafter tails; half-timbering; horizontal wood lap siding in the primary gable end; a molded wood cornice over the primary entrance; leaded glass windows; and multi-lite windows. Alterations include: replacement front door.

399. 419 Virginia Avenue APN: 34072100 Non-Contributor Ca. 2010

One-story, wood-frame, single-family residence clad in wood shingle siding. It has an L-shaped with a cross-gable roof. The building does not demonstrate a particular style. Details include exposed rafter tails; brackets; and an integral two-car garage. Related features include a series of flagstone terraces in the front yard. The building is of recent construction. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

400. 425 Virginia Avenue APN: 34072090 Contributor 1927

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an L-shaped with a cross-gable roof. Details include a clay tile roof; internal and external stucco chimneys with arched stucco hoods; terra cotta vents in gable ends; arched French doors; a metal balconette; an arched entry landing; and multi-lite windows. Alterations include: replacement windows, roof material, and front door.

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401. 424 Virginia Avenue APN: 34071160 Contributor 1949

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally L-shaped footprint with a cross-gable roof. Details include a clay tile roof; an external brick chimney; copper gutters; square notched wood porch posts, and wrought iron balconettes. Alterations include: replacement front door and roof material.

402. 429 Virginia Avenue APN: 34072080 Non-Contributor 1951

Two-story, wood-frame, single-family residence clad in wood shingles and vertical board-and-batten siding with a rustic stone water table. The building does not demonstrate a particular style. It has an irregular footprint with a hip roof. Details include a wood shake roof; exposed rafter tails; rustic wood timbering around entry porch, and multi-lite windows. Alterations include: replacement windows, doors and cladding. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

403. 432 Virginia Avenue APN: 34071170 Non-Contributor 1958

One-story-over-basement, wood-frame, Minimal Traditional, single-family residence clad in stucco with a stone water table. It has an irregular footprint with a hip roof. Details include a wood panel door with sidelights. Alterations include: replacement windows and doors. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

404. 433 Virginia Avenue APN: 34072070 Non-Contributor 1955

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external brick chimney; exposed rafter tails; a wood panel front door with sidelights; and an integral basement-level two-car garage. Alterations include: replacement windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

405. 445 Virginia Avenue APN: 34071180 Contributor 1937

Street-level, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a wood shake roof; stucco eave returns; exposed rafter tails; a box window; multi-lite windows; wood shutters; and an integral one-car garage. Alterations include: no known alterations.

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406. 444 Virginia Avenue APN: 34071190 Non-Contributor 1950

One-story, wood-frame, California Ranch, single-family residence clad in vertical wood board-and-batten siding with a brick water table. It has a generally rectangular footprint with a hip roof. Details include an external brick chimney; exposed rafter tails; square embellished porch posts; metal porch railing; and an integral two-car garage. Alterations include: replacement garage door and roof material. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

407. 445 Virginia Avenue APN: 34072060 Non-Contributor 1955  
Builder: Wilbert S. Adams Original owner: David M. Sturgeon  
Original owner: Mr. & Mrs. Hudson

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco and horizontal clapboard siding. It has a generally square footprint with a cross-gable roof. Details include an external brick chimney; a wood plank front door with embellished sidelights; and an integral two-car garage. Alterations include: replacement windows and front door. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

408. 448 Virginia Avenue APN: 34071200 Non-Contributor 1940

Two-story, wood-frame, single-family residence clad in stucco and horizontal wood drop siding. It has an L-shaped footprint with hip and cross-gable roof forms. The building does not demonstrate a particular style due to recent alterations. Details include an external brick chimney; square porch posts; multi-lite windows; wood shutters; and an integral two-car garage. The building is a non-contributor to the Baywood Historic District because it has been drastically altered, including: replacement windows, building appears to have been enlarged.

409. 451 Virginia Avenue APN: 34072050 Contributor 1938

Two-story-over-basement, wood-frame, Eclectic, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include an external stucco chimney; exposed rafter tails; a wood balcony with wood railings wrapping around the northeast corner of the second story; French doors; multi-lite windows; wood shutters; and an integral basement-level two-car garage. Alterations include: replacement windows.

410. 456 Virginia Avenue APN: 34071210 Contributor 1941

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco-groove wood siding. It has an irregular footprint with cross-gable and hip roof forms. Details include an internal brick chimney; a bay window; circular louver vents in gable ends; multi-lite

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windows; wood shutters; and an attached two-car garage. Alterations include: replacement windows and doors.

411. 457 Virginia Avenue APN: 34072040 Contributor 1949

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an internal brick chimney with a brick hood; a pediment over the front door with embellished metal brackets; glass block windows; a metal railing at the front porch; and an integral basement-level two-car garage. Alterations include: no known alterations.

412. 463 Virginia Avenue APN: 34072270 Non-Contributor 1950

One-story-over-basement, wood-frame, Prairie, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an internal stucco chimney; paneled fascia boards; a wood panel front door with sidelights; asymmetrical multi-lite windows; a front porch with low stucco walls with stepped details topped with glass; French doors; and an integral basement-level garage with three garage doors. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

413. 464 Virginia Avenue APN: 34071220 Non-Contributor 1952

One-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a contemporary multi-lite metal front door with sidelights; square porch posts; and an attached two-car garage. Alterations include: replacement windows and doors. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

414. 472 Virginia Avenue APN: 34071230 Non-Contributor 1950

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco. It has a generally L-shaped footprint with a hip roof, and an attached two-car garage. Alterations include: replacement doors and windows. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

415. 475 Virginia Avenue APN: 34072010 Non-Contributor 1949

One-story over basement, wood-frame, Contemporary/Mediterranean Revival, single-family residence clad in stucco. It has an irregular footprint with hip and gable roof forms. Details include a clay tile roof; an external stucco chimney; a wood pergola over the front porch; and an integral, basement-level two-car garage. Related features include a winding concrete staircase

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with stucco retaining walls in the front yard leading to the first story. The building is a non-contributor to the Baywood Historic District because it has been drastically altered, including: building was redesigned ca. 2000.

416. 480 Virginia Avenue APN: 34071240 Contributor 1928

Two-story-over-basement, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a rectangular footprint with a cross-gable roof. Details include a wood shake roof; an external brick chimney; terra cotta vents in gable ends; half-timbering; a bay window; a partially glazed wood plank door with multi-lite sidelights; and multi-lite windows. Alterations include: replacement windows and front door.

417. 481 Virginia Avenue APN: 34064070 Contributor 1947

One-story-over-basement, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include an external stucco chimney; rectangular louver vents in gable ends; a metal planter over an integral basement-level two-car garage, multi-lite windows; and wood shutters. Alterations include: no known alterations.

418. 500 Virginia Avenue APN: 34062090 Contributor 1927  
Architect: Samuel Heimann Builder: Thomas A. Cavanaugh  
Consulting Architect: Harris I. Allen  
Constructed as the "San Francisco Chronicle Model Home"

Two-story-over-basement, wood-frame, Tudor Revival, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include a complex massing; an external stucco chimney; half-timbering; an arched wood plank door within an embellished molded arched recess and shield above; dormer windows; multi-lite windows; and an attached basement-level two-car garage. Alterations include: replacement garage door and two-story addition at rear.

419. 516 Virginia Avenue APN: 34063100 Non-Contributor 1955

One-story, wood-frame, California Ranch, single-family residence clad in large wood shingles with a brick water table. It has a T-shaped footprint with a hip roof. Details include a wood shake roof; and an attached two-car garage. Alterations include: no known alterations. The building is a

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non-contributor to the Baywood Historic District because it was built after the period of significance.

420. 511 Virginia Avenue APN: 34064060 Contributor 1948

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco with a brick water table. It has a generally rectangular footprint with a hip roof. Details include an external brick chimney; exposed rafter tails; a wood panel front door with sidelights; wood shutters; and an integral basement-level garage door. Alterations include: replacement windows and garage door.

421. 517 Virginia Avenue APN: 34064050 Contributor 1949

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include exposed rafter tails; and an integral basement-level two-car garage. Alterations include replacement windows, doors, cladding, roof material, and front door opening moved.

422. 520 Virginia Avenue APN: 34063110 Contributor 1929

Two-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a generally square footprint with hip and gable roof forms. Details include a clay tile roof; exposed rafter tails; copper gutters; a recessed embellished entryway; decorative molded stucco panel over entryway; paired arched windows with molded Ionic pilasters in mullion and frame; wrought iron Balconette; multi-lite windows;. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

423. 525 Virginia Avenue APN: 34064040 Contributor 1939

One-story-over-basement, wood-frame, California Ranch, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include exposed rafter tails; square wood posts and metal pilings at the entry porch; and an attached basement-level two-car garage. Alterations include: replacement windows and doors.

424. 526 Virginia Avenue APN: 34063120 Contributor 1928

One-story-over-basement, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include an external stucco

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chimney; a wood plank front door with wrought iron grille; a rounded turret on the west façade; and multi-lite windows. Alterations include: no known alterations.

425. 531 Virginia Avenue APN: 34064030 Contributor 1948

One-story, wood-frame, California Ranch, single-family residence clad in stucco and vertical wood board-and-batten siding with a brick water table. It has an irregular footprint with a hip roof. Details include an external brick chimney; exposed rafter tails; and an attached two-car garage. Alterations include: replacement windows and garage door.

426. 532 Virginia Avenue APN: 34063130 Contributor 1928  
Architect: Scott & Grimes Builder: J. W. Pruitt

Two-story-over-basement, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a generally T-shaped footprint with a cross-gable roof. Details include an exterior ornate brick chimney; carved wood lintels and cross beams; a scalloped barge board on the primary gable end; a dovecote with jerkinhead feature at the highest gable peak; a recessed primary entrance with a carved timber framed opening; a wood panel entry door with a low pointed-arched opening; and wood shutters at the first floor. When constructed this building contained a marble fireplace that had been salvaged from the Parrott Mansion. Alterations include: no known alterations.

427. 537 Virginia Avenue APN: 34064020 Non-Contributor 1950

One-story, wood-frame, California Ranch, single-family residence clad in stucco. It has an generally L-shaped footprint with a hip roof. Details include an external brick chimney; exposed rafter tails; square embellished wood porch posts; and an attached two-car garage. Alterations include: no known alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

428. 540 Virginia Avenue APN: 34063140 Contributor 1938

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco. It has an irregular footprint with a cross-gable roof. Details include an external brick chimney; Paired wood porch posts with wrought iron embellishments; wrought iron railings at rick porch; recessed partially glazed multi-lite wood panel front door; scalloped wood features over porch

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and integral two-car garage; multi-lite windows; wood shutters. Alterations include: replacement windows.

429. 543 Virginia Avenue APN: 34064010 Non-Contributor 1954

One-and-a-half-story, wood-frame, California Ranch, single-family residence clad in stucco and brick with horizontal wood clapboard siding. It has a U-shaped footprint with a hip roof. Details include an exterior stucco chimney with a brick base and accents; exposed rafter tails; multi-lite windows; and an attached two-car garage facing Alameda de las Pulgas. Related features include low stone retaining wall lining the parcel along Virginia Avenue and Alameda de las Pulgas. Alterations include: replacement windows and second-story addition. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

430. 544 Virginia Avenue APN: 34063150 Non-Contributor 1939

Two-story, wood-frame, Minimal Traditional, single-family residence clad in stucco and horizontal wood drop siding with a brick water table. It has a generally rectangular footprint with hip and gable roof forms. Details include exposed rafter tails; and a wood front door with sidelights. The building is a non-contributor to the Baywood Historic District because it has been significantly altered, including: replacement windows and doors, altered entryway, and prominent brick chimney removed.

West 3rd Avenue

431. 200 West 3rd Avenue APN: 34085070 Contributor 1936  
Architect: Leigh Kirk Builder: H. E. Winfey  
Original Owner: Willard C. Lark

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; internal and external stucco chimneys; an arched entry porch; art glass windows; and an attached one-car garage. Related features include a shoulder-height hedge that lines the street-facing edges of the parcel. Alterations include: replacement windows and front door.

432. 211 West 3rd Avenue APN: 34086010 Contributor 1940  
Builder: Harry Shofres

Split-level, wood-frame, Mediterranean Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof. Details include a clay tile roof; half turned wood ornament mullions; a wood panel front door with multi-lite sidelights; multi-lite windows; and an integral

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two-car garage. Related features include a low concrete perimeter wall. Alterations include: replacement windows.

433. 228 West 3rd Avenue APN: 34085080 Contributor 1929  
Builder: Charles L. Bell

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an L-shaped footprint with gable roofs. Details include a clay tile roof; an integral brick chimney; a wood balcony with square wood posts and molded wood railing; and an arcaded entry porch. Related features include a double-width parcel, a low brick perimeter wall along the front of the parcel, and a detached two-car garage with a second story at the northeast side of the parcel. Alterations include: replacement windows and doors.

434. 236 West 3rd Avenue APN: 34085090 Non-Contributor Ca. 2020  
Architect: Donald E. Jackil Builder: Progressive Building Co.  
Original Owner: Florence Cortese

Two-story, wood-frame, Contemporary, single-family residence clad in stucco. It has a U-shaped footprint with a cross gable roof. Details include asphalt roof tiles; a square bay window; square porch posts; and an integral two-car garage. The building is of recent construction. Alterations include: no major alterations. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

435. 244 West 3rd Avenue APN: 34085100 Contributor 1936  
Builder: Smith & Wacker Original Owner: C. G. Ibel  
Original Owner: Willard C. Lark

Two-story, wood-frame, Minimal Traditional/Monterey Revival, single-family residence clad in stucco, brick, and horizontal wood lap siding. It has a rectangular footprint with a hip roof. Details include a balcony at the second story with paired square posts; a bay window with a flared metal roof with scalloped edges; an octagonal multi-lite window next to the front door; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: replacement windows.

436. 247 West 3rd Avenue APN: 34084070 Contributor 1947  
Builder: Prat & Mitchell

Split-level, wood-frame, Minimal Traditional, single-family residence clad in stucco with brick water tables. It has a roughly square footprint with a hip roof. Details include an external brick

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chimney; exposed rafter tails; square porch posts; a Balconette with metal railings; wood shutters; and an integral two-car garage. Alterations include: replacement windows and doors.

437. 253 West 3rd Avenue APN: 34084060 Contributor 1929  
Builder: Charles L. Bell

Two-story, wood-frame, Eclectic/Tudor Revival, single-family residence clad in stucco and horizontal wood lap siding. It has an L-shaped footprint with hip and gable roof forms. Details include an external brick chimney; exposed rafter tails; square porch posts; multi-lite windows; and an integral one-car garage. Alterations include: replacement roof material, windows and doors.

438. 254 West 3rd Avenue APN: 34085110 Contributor 1929

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has a U-shaped footprint with a hip roof. Details include a clay tile roof; an external brick chimney with a clay tile hood; a wood balcony; wrought iron grilles over windows; wrought iron balconets; stucco moldings over integral one-car garage; multi-lite windows; and wood shutters. Alterations include: replacement windows.

439. 259 West 3rd Avenue APN: 34084050 Contributor 1929  
Builder: Lengfeld & Olund

Two-story, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a hip roof and a secondary gable roof form. Details include a clay tile roof; an external stucco chimney with a clay tile hood and terra cotta vents; clay tile vents in gable ends; a wood balcony with molded wood brackets, railings, and embellished square posts; an arcaded entry porch; multi-lite windows; and wood shutters. Related features include a detached two-car garage at the rear of the parcel. Alterations include: no known alterations.

440. 262 West 3rd Avenue APN: 34085120 Non-Contributor 1952

Split-level, wood-frame, single-family residence clad in stucco. It has an irregular footprint with a hip roof. The building does not demonstrate a particular style. Details include paired square posts at the entry porch; French doors with sidelights, and an integral two-car garage. Alterations

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include: replacement windows and doors. The building is a non-contributor to the Baywood Historic District because it was built after the period of significance.

441. 263 West 3rd Avenue APN: 34084040 Non-Contributor 1927  
Builder: Lengfeld & Olund

Two-story, wood-frame, Tudor Revival, single-family residence clad in stucco. It has a roughly rectangular footprint with a steeply pitched cross-gable roof. Details include an internal stucco chimney with rustic brick quoining; fascia boards; and French doors. Related features include a detached two-car garage at the rear of the parcel. The building is a non-contributor to the Baywood Historic District because it has been drastically altered, including replacement windows and doors and an addition on west side of primary facade.

442. 269 West 3rd Avenue APN: 34084030 Contributor 1937  
Architect: F. F. Armandes Builder: W. H. May  
Original Owner: D. A. Reade

Two story, wood-frame, Tudor Revival, single-family residence clad in stucco and vertical wood board-and-batten siding. It has an irregular footprint with hip and gable roof forms. Details include a slate roof; an external stucco chimney with flagstone, brick, and metal detailing; half-timbering; rectangular louver vents with molded wood central columns; a wrought-iron grille over a window adjacent to an integral one-car garage; an embellished recessed entryway with a wood partially glazed multi-lite door; multi-lite windows; and wood shutters. Alterations include: replacement doors.

443. 275 West 3rd Avenue APN: 34084020 Contributor 1932

Split-level, wood-frame, Spanish Colonial Revival, single-family residence clad in stucco. It has an irregular footprint with a cross gable roof. Details include a clay tile roof; stucco internal and external chimneys with clay tile hoods, terra cotta vents in gable ends; exposed rafter tails; a pointed arched window with molded wood column mullion; a stucco arched portico; multi-lite windows; and an integral one-car garage. Alterations include: replacement windows and doors.

444. 281 West 3rd Avenue APN: 34084010 Contributor 1945

Split-level, wood-frame, Tudor Revival, single-family residence clad in stucco and brick. It has an irregular footprint with a hip roof. Details include a wood shake roof; an external brick chimney; half-timbering; square porch posts; wood porch railings; brick sills; multi-lite windows; and an integral two-car garage. Alterations include: replacement garage doors.

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Medians

(Six Contributors, Two Non-Contributors)

445. Crystal Springs Road Median Contributor  
Block-long landscaped median bounded by Crystal Springs Road, Eaton Road, and West 3rd Avenue. Concrete curb. Sidewalk at its northwest end. Landscaping includes low plantings and mature trees.

446. West 3rd Avenue Median Contributor  
Triangular landscaped median bounded by West 3rd Avenue and Parrott Drive. Concrete curb. Sidewalk at north end. Landscaping includes low plantings and mature Palm tree.

447. Franklin Street and Fairfax Avenue Median Contributor  
Triangular landscaped median at intersection of Franklin Street and Fairfax Avenue. Concrete curb. Landscaping includes low plantings and small trees.

448. Virginia and Georgetown Avenues Median Contributor  
Triangular landscaped median at intersection of Virginia and Georgetown avenues. Concrete curb. Sidewalk at north end. Landscaping includes low plantings and small trees.

449. Irving Street and Fairfax Avenue Median Contributor  
Triangular landscaped median at intersection of Irving Street and Fairfax Avenue. Concrete curb. Landscaping includes low plantings, young trees, and a California Redwood.

450. Nevada and Kentucky Avenues Median Contributor  
Triangular landscaped median at intersection of Nevada and Kentucky avenues. Concrete curb. Landscaping includes low plantings and both young and mature trees.

451. Alameda de las Pulgas and Parrot Drive Median – North Non-Contributor  
Triangular median at the north side of the intersection of Alameda de las Pulgas and Parrot Drive. Concrete curb with raised brick surface. Concrete sidewalk at grade bisects the median. No landscaping.

452. Alameda de las Pulgas and Parrot Drive Median – South Non-Contributor  
Triangular median at the south side of the intersection of Alameda de las Pulgas and Parrot Drive. Concrete curb with raised brick surface. Concrete sidewalk at grade bisects the median. No landscaping.

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Table 1: Resource Summary

#	Street Address or Location	Year Built	Contributor Status	APN
1.	201 Alameda de las Pulgas	1941	Contributor	34022016
2.	401 Alameda de las Pulgas	1948	Contributor	34063000
3.	415 Alameda de las Pulgas	1937	Contributor	34063160
4.	519 Alameda de las Pulgas	1949	Contributor	34064120
5.	611 Alameda de las Pulgas	1950	Non-Contributor	34065090
6.	619 Alameda de las Pulgas	1963	Non-Contributor	34065180
7.	206 Amherst Avenue	1941	Contributor	34081010
8.	209 Amherst Avenue	1936	Contributor	34082140
9.	210 Amherst Avenue	1936	Contributor	34081020
10.	215 Amherst Avenue	1935	Contributor	34082130
11.	216 Amherst Avenue	1940	Contributor	34081030
12.	220 Amherst Avenue	1935	Contributor	34081040
13.	223 Amherst Avenue	1936	Contributor	34082120
14.	226 Amherst Avenue	1933	Contributor	34081050
15.	229 Amherst Avenue	1935	Contributor	34082110
16.	230 Amherst Avenue	1939	Contributor	34081060
17.	235 Amherst Avenue	1935	Contributor	34082100
18.	236 Amherst Avenue	1939	Contributor	34081070
19.	242 Amherst Avenue	1930	Non-Contributor	34081080
20.	243 Amherst Avenue	1931	Contributor	34082090
21.	436 Cornell Avenue	1953	Non-Contributor	34031050
22.	437 Cornell Avenue	1937	Non-Contributor	34032050
23.	445 Cornell Avenue	1936	Contributor	34032040
24.	446 Cornell Avenue	1938	Contributor	34031040
25.	451 Cornell Avenue	1937	Non-Contributor	34032030
26.	456 Cornell Avenue	1939	Contributor	34031030
27.	458 Cornell Avenue	1928	Contributor	34032020
28.	460 Cornell Avenue	1928	Contributor	34031020
29.	464 Cornell Avenue	1928	Contributor	34031010
30.	465 Cornell Avenue	1933	Contributor	34032010
31.	501 Cornell Avenue	1929	Contributor	34023070
32.	502 Cornell Avenue	1927	Contributor	34022060
33.	505 Cornell Avenue	1930	Contributor	34023060
34.	507 Cornell Avenue	1929	Contributor	34023050
35.	510 Cornell Avenue	1928	Contributor	34022050
36.	514 Cornell Avenue	1928	Contributor	34022040

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37.	519 Cornell Avenue	1941	Contributor	34023040
38.	520 Cornell Avenue	1949	Contributor	34022030
39.	525 Cornell Avenue	1937	Non-Contributor	34023030
40.	526 Cornell Avenue	1948	Contributor	34022020
41.	531 Cornell Avenue	1936	Contributor	34023020
42.	539 Cornell Avenue	1951	Non-Contributor	34023010
43.	321 Crystal Springs Road	1953	Non-Contributor	34082150
44.	221 Eaton Road	1941	Contributor	34085060
45.	233 Eaton Road	1937	Contributor	34085050
46.	245 Eaton Road	1946	Contributor	34085040
47.	251 Eaton Road	1940	Contributor	34085130
48.	259 Eaton Road	1947	Contributor	34085140
49.	267 Eaton Road	1951	Non-Contributor	34085010
50.	505 Edinburgh Street	1934	Contributor	34111180
51.	509 Edinburgh Street	1928	Contributor	34111170
52.	515 Edinburgh Street	1928	Contributor	34111160
53.	521 Edinburgh Street	1928	Contributor	34111150
54.	522 Edinburgh Street	1935	Contributor	34104020
55.	527 Edinburgh Street	1929	Contributor	34111140
56.	528 Edinburgh Street	1930	Contributor	34104030
57.	533 Edinburgh Street	1930	Contributor	34111130
58.	534 Edinburgh Street	1932	Contributor	34104040
59.	539 Edinburgh Street	1928	Contributor	34111120
60.	540 Edinburgh Street	1933	Contributor	34104050
61.	545 Edinburgh Street	1928	Contributor	34111110
62.	546 Edinburgh Street	1933	Contributor	34104060
63.	551 Edinburgh Street	1929	Contributor	34111100
64.	552 Edinburgh Street	1936	Contributor	34104070
65.	557 Edinburgh Street	1930	Contributor	34111090
66.	558 Edinburgh Street	1930	Contributor	34104080
67.	562 Edinburgh Street	1928	Contributor	34111080
68.	567 Edinburgh Street	ca. 2023	Non-Contributor	34104090
69.	600 Edinburgh Street	1939	Contributor	34104100
70.	603 Edinburgh Street	1929	Contributor	34111070
71.	609 Edinburgh Street	1928	Contributor	34111060
72.	610 Edinburgh Street	1932	Contributor	34104110
73.	615 Edinburgh Street	1952	Non-Contributor	34111050
74.	620 Edinburgh Street	1948	Contributor	34104120
75.	621 Edinburgh Street	1952	Non-Contributor	34111040
76.	631 Edinburgh Street	1950	Non-Contributor	34111030

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77.	703 Edinburgh Street	1937	Contributor	34111020
78.	709 Edinburgh Street	1941	Contributor	34111010
79.	301 Fairfax Avenue	1933	Contributor	34083080
80.	335 Fairfax Avenue	1927	Contributor	34083070
81.	342 Fairfax Avenue	1974	Non-Contributor	34082170
82.	344 Fairfax Avenue	1933	Contributor	34082100
83.	345 Fairfax Avenue	1936	Contributor	34083060
84.	350 Fairfax Avenue	1940	Contributor	34082080
85.	351 Fairfax Avenue	1933	Contributor	34083050
86.	359 Fairfax Avenue	1936	Contributor	34082040
87.	365 Fairfax Avenue	1928	Contributor	34083030
88.	371 Fairfax Avenue	1935	Contributor	34083020
89.	374 Fairfax Avenue	1935	Contributor	34081090
90.	411 Fairfax Avenue	1930	Contributor	34033110
91.	415 Fairfax Avenue	2023	Non-Contributor	34033100
92.	416 Fairfax Avenue	1933	Contributor	34034100
93.	421 Fairfax Avenue	1932	Contributor	34033090
94.	425 Fairfax Avenue	1946	Contributor	34033080
95.	428 Fairfax Avenue	1947	Contributor	34034110
96.	433 Fairfax Avenue	1933	Contributor	34033070
97.	434 Fairfax Avenue	1929	Contributor	34034120
98.	439 Fairfax Avenue	1926	Contributor	34033060
99.	447 Fairfax Avenue	1940	Contributor	34033050
100.	457 Fairfax Avenue	1932	Contributor	34033040
101.	460 Fairfax Avenue	1935	Contributor	34032080
102.	461 Fairfax Avenue	1936	Contributor	34033030
103.	469 Fairfax Avenue	1929	Contributor	34033020
104.	470 Fairfax Avenue	1931	Contributor	34032090
105.	478 Fairfax Avenue	1929	Contributor	34032100
106.	480 Fairfax Avenue	1931	Contributor	34032110
107.	484 Fairfax Avenue	1942	Contributor	34032120
108.	507 Fairfax Avenue	1940	Contributor	34023080
109.	505 Fairfax Avenue	1938	Contributor	34023090
110.	514 Fairfax Avenue	1935	Contributor	34023100
111.	519 Fairfax Avenue	1927	Contributor	34024060
112.	520 Fairfax Avenue	1949	Contributor	34023110
113.	525 Fairfax Avenue	1933	Contributor	34024050
114.	526 Fairfax Avenue	1948	Contributor	34023120
115.	530 Fairfax Avenue	ca. 2008	Non-Contributor	34023130
116.	531 Fairfax Avenue	1949	Contributor	34024040

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117.	536 Fairfax Avenue	1949	Contributor	34023140
118.	539 Fairfax Avenue	ca. 2023	Non-Contributor	34024030
119.	542 Fairfax Avenue	ca. 2023	Non-Contributor	34023150
120.	545 Fairfax Avenue	1949	Contributor	34024020
121.	551 Fairfax Avenue	1947	Contributor	34024010
122.	511 Fordham Road	1971	Non-Contributor	34104200
123.	517 Fordham Road	1945	Contributor	34104230
124.	520 Fordham Road	1940	Contributor	34107200
125.	523 Fordham Road	1930	Contributor	34104220
126.	524 Fordham Road	1930	Contributor	34105210
127.	525 Fordham Road	1930	Contributor	34104210
128.	527 Fordham Road	1928	Contributor	34104200
129.	528 Fordham Road	1931	Contributor	34103220
130.	529 Fordham Road	1928	Contributor	34104190
131.	536 Fordham Road	1951	Non-Contributor	34103230
132.	540 Fordham Road	1940	Contributor	34103240
133.	545 Fordham Road	1930	Contributor	34104180
134.	546 Fordham Road	1951	Non-Contributor	34103250
135.	600 Fordham Road	1951	Non-Contributor	34103260
136.	603 Fordham Road	1931	Contributor	34104170
137.	608 Fordham Road	1948	Contributor	34103270
138.	609 Fordham Road	1950	Contributor	34104160
139.	612 Fordham Road	1950	Non-Contributor	34103280
140.	615 Fordham Road	1932	Contributor	34104150
141.	616 Fordham Road	1950	Non-Contributor	34103290
142.	622 Fordham Road	1948	Contributor	34103300
143.	628 Fordham Road	1940	Contributor	34103310
144.	634 Fordham Road	1935	Non-Contributor	34103320
145.	639 Fordham Road	1931	Contributor	34104140
146.	640 Fordham Road	1935	Contributor	34103330
147.	646 Fordham Road	2011	Non-Contributor	34103340
148.	657 Fordham Road	1948	Contributor	34104130
149.	652 Fordham Road	1936	Contributor	34103350
150.	255 Franklin Street	1936	Contributor	34101120
151.	303 Franklin Street	1931	Contributor	34083100
152.	316 Franklin Street	1934	Contributor	34084110
153.	322 Franklin Street	1933	Contributor	34084120
154.	327 Franklin Street	1927	Contributor	34083090
155.	330 Franklin Street	1934	Contributor	34084130
156.	340 Franklin Street	1940	Contributor	34084140

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157.	346 Franklin Street	1928	Contributor	34084150
158.	351 Franklin Street	1938	Contributor	34082060
159.	353 Franklin Street	1930	Contributor	34082050
160.	354 Franklin Street	1927	Contributor	34084200
161.	358 Franklin Street	1963	Non-Contributor	34084190
162.	359 Franklin Street	1928	Contributor	34082040
163.	364 Franklin Street	1933	Contributor	34084170
164.	365 Franklin Street	1941	Contributor	34087030
165.	370 Franklin Street	1940	Contributor	34084180
166.	371 Franklin Street	1949	Contributor	34082020
167.	377 Franklin Street	1950	Non-Contributor	34082010
168.	307 Georgetown Avenue	1932	Contributor	34103170
169.	315 Georgetown Avenue	1931	Contributor	34103160
170.	316 Georgetown Avenue	1933	Contributor	34102020
171.	321 Georgetown Avenue	1930	Contributor	34103150
172.	324 Georgetown Avenue	1965	Non-Contributor	34102030
173.	327 Georgetown Avenue	1930	Contributor	34103140
174.	329 Georgetown Avenue	1955	Non-Contributor	34103130
175.	330 Georgetown Avenue	1948	Contributor	34102040
176.	333 Georgetown Avenue	1946	Contributor	34103120
177.	338 Georgetown Avenue	1964	Non-Contributor	34102050
178.	339 Georgetown Avenue	1952	Non-Contributor	34103110
179.	343 Georgetown Avenue	1955	Non-Contributor	34103100
180.	347 Georgetown Avenue	1961	Non-Contributor	34103090
181.	348 Georgetown Avenue	1983	Non-Contributor	34102060
182.	350 Georgetown Avenue	1948	Contributor	34102070
183.	351 Georgetown Avenue	1956	Non-Contributor	34103080
184.	362 Georgetown Avenue	1930	Contributor	34102080
185.	365 Georgetown Avenue	1940	Contributor	34103070
186.	371 Georgetown Avenue	1941	Contributor	34103060
187.	377 Georgetown Avenue	1930	Contributor	34103050
188.	387 Georgetown Avenue	1949	Contributor	34102090
189.	385 Georgetown Avenue	1950	Non-Contributor	34103040
190.	389 Georgetown Avenue	1951	Non-Contributor	34103030
191.	393 Georgetown Avenue	1950	Non-Contributor	34103020
192.	403 Georgetown Avenue	1930	Contributor	34074130
193.	406 Georgetown Avenue	1948	Contributor	34073130
194.	409 Georgetown Avenue	1930	Contributor	34074120
195.	410 Georgetown Avenue	1948	Contributor	34073140
196.	415 Georgetown Avenue	1930	Contributor	34074110

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197.	419 Georgetown Avenue	1930	Contributor	34074100
198.	422 Georgetown Avenue	1948	Contributor	34073150
199.	423 Georgetown Avenue	1930	Contributor	34074090
200.	428 Georgetown Avenue	1948	Contributor	34073160
201.	429 Georgetown Avenue	1929	Contributor	34074080
202.	433 Georgetown Avenue	1929	Contributor	34074090
203.	434 Georgetown Avenue	1948	Contributor	34073170
204.	439 Georgetown Avenue	1928	Contributor	34073060
205.	440 Georgetown Avenue	1945	Non-Contributor	34073180
206.	444 Georgetown Avenue	1945	Contributor	34073090
207.	445 Georgetown Avenue	1929	Contributor	34074050
208.	475 Georgetown Avenue	1928	Contributor	34074040
209.	502 Georgetown Avenue	1930	Contributor	34073200
210.	503 Georgetown Avenue	1928	Contributor	34074030
211.	506 Georgetown Avenue	1941	Contributor	34073210
212.	509 Georgetown Avenue	1928	Contributor	34074020
213.	510 Georgetown Avenue	1947	Contributor	34073220
214.	515 Georgetown Avenue	1929	Contributor	34074010
215.	516 Georgetown Avenue	1928	Contributor	34073230
216.	520 Georgetown Avenue	1945	Contributor	34066050
217.	521 Georgetown Avenue	1948	Contributor	34067040
218.	526 Georgetown Avenue	1948	Contributor	34066060
219.	527 Georgetown Avenue	1949	Contributor	34067030
220.	534 Georgetown Avenue	1930	Contributor	34066070
221.	539 Georgetown Avenue	1949	Contributor	34067020
222.	540 Georgetown Avenue	1951	Non-Contributor	34066080
223.	545 Georgetown Avenue	1949	Contributor	34067010
224.	201 Harvard Road	1941	Contributor	34081170
225.	202 Harvard Road	1939	Contributor	34034010
226.	209 Harvard Road	1935	Contributor	34081160
227.	210 Harvard Road	1937	Contributor	34034020
228.	215 Harvard Road	1937	Contributor	34081150
229.	225 Harvard Road	1928	Contributor	34034030
230.	222 Harvard Road	1927	Contributor	34034040
231.	225 Harvard Road	1928	Contributor	34081140
232.	228 Harvard Road	1937	Contributor	34034050
233.	231 Harvard Road	1928	Contributor	34081130
234.	232 Harvard Road	1928	Contributor	34034060
235.	238 Harvard Road	1935	Contributor	34034070
236.	239 Harvard Road	1933	Contributor	34081120

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237.	244 Harvard Road	1989	Non-Contributor	34034080
238.	245 Harvard Road	1935	Contributor	34081110
239.	250 Harvard Road	1936	Contributor	34034090
240.	253 Harvard Road	1948	Non-Contributor	34081100
241.	300 Harvard Road	1938	Contributor	34033120
242.	301 Harvard Road	1941	Contributor	34083090
243.	511 Harvard Road	1938	Contributor	34102150
244.	517 Harvard Road	1927	Contributor	34107190
245.	520 Harvard Road	1936	Contributor	34102130
246.	523 Harvard Road	1973	Non-Contributor	34102180
247.	531 Harvard Road	1928	Contributor	34102130
248.	601 Harvard Road	1935	Contributor	34102120
249.	609 Harvard Road	1935	Contributor	34102110
250.	612 Harvard Road	1940	Contributor	34073110
251.	615 Harvard Road	1997	Non-Contributor	34102100
252.	618 Harvard Road	1945	Contributor	34073120
253.	701 Harvard Road	1949	Contributor	34103010
254.	205 Irving Street	1941	Contributor	34034190
255.	211 Irving Street	1929	Contributor	34034180
256.	217 Irving Street	1929	Contributor	34034170
257.	223 Irving Street	1936	Contributor	34034160
258.	228 Irving Street	1927	Contributor	34032060
259.	229 Irving Street	1940	Non-Contributor	34034150
260.	237 Irving Street	1928	Contributor	34034140
261.	238 Irving Street	1932	Contributor	34032070
262.	243 Irving Street	1928	Contributor	34034130
263.	300 Jackson Street	1947	Contributor	34024170
264.	301 Jackson Street	ca. 2019	Non-Contributor	34033010
265.	320 Jackson Street	1930	Contributor	34024090
266.	419 Jackson Street	1937	Contributor	34071250
267.	505 Kentucky Avenue	1930	Contributor	34073010
268.	507 Kentucky Avenue	1948	Contributor	34066040
269.	510 Kentucky Avenue	1938	Contributor	34065050
270.	517 Kentucky Avenue	1947	Contributor	34066030
271.	520 Kentucky Avenue	1940	Contributor	34065060
272.	525 Kentucky Avenue	1945	Contributor	34066020
273.	530 Kentucky Avenue	1948	Contributor	34065070
274.	533 Kentucky Avenue	1955	Non-Contributor	34066010
275.	400 Nevada Avenue	1945	Contributor	34072140
276.	407 Nevada Avenue	1934	Contributor	34073100

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277.	412 Nevada Avenue	1953	Non-Contributor	34072150
278.	417 Nevada Avenue	1928	Contributor	34073090
279.	420 Nevada Avenue	1950	Non-Contributor	34072160
280.	423 Nevada Avenue	1945	Contributor	34073080
281.	428 Nevada Avenue	N/A	Non-Contributor	34072170
282.	429 Nevada Avenue	1931	Contributor	34073090
283.	435 Nevada Avenue	1938	Contributor	34073060
284.	436 Nevada Avenue	1935	Contributor	34072180
285.	441 Nevada Avenue	1950	Non-Contributor	34073050
286.	442 Nevada Avenue	1938	Contributor	34072190
287.	446 Nevada Avenue	1948	Contributor	34072200
288.	449 Nevada Avenue	1950	Non-Contributor	34073040
289.	455 Nevada Avenue	1948	Contributor	34073030
290.	458 Nevada Avenue	1948	Contributor	34072210
291.	461 Nevada Avenue	1941	Contributor	34073020
292.	462 Nevada Avenue	1928	Contributor	34072220
293.	506 Nevada Avenue	1930	Contributor	34072230
294.	512 Nevada Avenue	1936	Contributor	34072240
295.	518 Nevada Avenue	1963	Non-Contributor	34072250
296.	519 Nevada Avenue	1938	Contributor	34065040
297.	522 Nevada Avenue	1946	Contributor	34072260
298.	528 Nevada Avenue	1929	Contributor	34064080
299.	531 Nevada Avenue	1927	Contributor	34065030
300.	536 Nevada Avenue	1931	Contributor	34064090
301.	541 Nevada Avenue	1945	Non-Contributor	34065020
302.	544 Nevada Avenue	1937	Contributor	34064100
303.	551 Nevada Avenue	1946	Contributor	34065010
304.	552 Nevada Avenue	1930	Contributor	34064110
305.	221 Parrott Drive	1945	Contributor	34086100
306.	227 Parrott Drive	1948	Contributor	34086090
307.	233 Parrott Drive	1947	Contributor	34086080
308.	237 Parrott Drive	1941	Contributor	34084080
309.	244 Parrott Drive	1934	Contributor	34084090
310.	245 Parrott Drive	1933	Contributor	34086070
311.	251 Parrott Drive	1929	Contributor	34086060
312.	252 Parrott Drive	1952	Non-Contributor	34084100
313.	305 Parrott Drive	1938	Contributor	34101110
314.	311 Parrott Drive	1932	Contributor	34101100
315.	319 Parrott Drive	1927	Contributor	34101090
316.	320 Parrott Drive	1938	Contributor	34083110

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317.	325 Parrott Drive	1928	Contributor	34101080
318.	326 Parrott Drive	1927	Contributor	34083120
319.	331 Parrott Drive	1969	Non-Contributor	34101070
320.	334 Parrott Drive	1946	Contributor	34083130
321.	339 Parrott Drive	1952	Non-Contributor	34101060
322.	342 Parrott Drive	1927	Contributor	34083140
323.	345 Parrott Drive	1937	Contributor	34101050
324.	351 Parrott Drive	ca. 2013	Non-Contributor	34107040
325.	354 Parrott Drive	1927	Contributor	34083200
326.	359 Parrott Drive	1940	Contributor	34101030
327.	360 Parrott Drive	1973	Non-Contributor	34083190
328.	365 Parrott Drive	1950	Non-Contributor	34101020
329.	370 Parrott Drive	1948	Contributor	34083170
330.	373 Parrott Drive	1928	Contributor	34101010
331.	374 Parrott Drive	1936	Contributor	34083180
332.	401 Parrott Drive	1929	Contributor	34071120
333.	402 Parrott Drive	1936	Contributor	34033130
334.	411 Parrott Drive	1947	Contributor	34071110
335.	412 Parrott Drive	1948	Contributor	34033140
336.	421 Parrott Drive	1933	Contributor	34071100
337.	422 Parrott Drive	1928	Contributor	34033150
338.	427 Parrott Drive	1977	Contributor	34071090
339.	433 Parrott Drive	1956	Contributor	34071080
340.	439 Parrott Drive	1941	Contributor	34071070
341.	442 Parrott Drive	1928	Contributor	34033160
342.	445 Parrott Drive	1951	Non-Contributor	34071060
343.	450 Parrott Drive	1928	Non-Contributor	34033170
344.	453 Parrott Drive	1954	Non-Contributor	34071050
345.	458 Parrott Drive	1951	Non-Contributor	34033180
346.	459 Parrott Drive	1930	Contributor	34071040
347.	465 Parrott Drive	1955	Non-Contributor	34071030
348.	467 Parrott Drive	1930	Contributor	34033190
349.	471 Parrott Drive	1928	Contributor	34071020
350.	472 Parrott Drive	1959	Non-Contributor	34033200
351.	478 Parrott Drive	1938	Contributor	34033210
352.	486 Parrott Drive	1939	Contributor	34033220
353.	491 Parrott Drive	1946	Contributor	34071010
354.	492 Parrott Drive	1929	Contributor	34033230
355.	505 Parrott Drive	1948	Contributor	34063080
356.	511 Parrott Drive	1937	Contributor	34063070

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357.	512 Parrott Drive	1928	Contributor	34024100
358.	517 Parrott Drive	1940	Contributor	34063060
359.	518 Parrott Drive	1935	Contributor	34024110
360.	523 Parrott Drive	1953	Non-Contributor	34063050
361.	526 Parrott Drive	1933	Contributor	34024120
362.	531 Parrott Drive	1945	Contributor	34063070
363.	532 Parrott Drive	1929	Contributor	34024130
364.	540 Parrott Drive	1929	Contributor	34024140
365.	541 Parrott Drive	1947	Contributor	34063030
366.	548 Parrott Drive	1951	Non-Contributor	34024150
367.	551 Parrott Drive	1949	Contributor	34063020
368.	556 Parrott Drive	1954	Non-Contributor	34024160
369.	228 Virginia Avenue	1941	Contributor	34086020
370.	232 Virginia Avenue	1936	Contributor	34086030
371.	238 Virginia Avenue	1931	Contributor	34086040
372.	244 Virginia Avenue	1935	Contributor	34086050
373.	253 Virginia Avenue	1931	Contributor	34111190
374.	262 Virginia Avenue	1928	Contributor	34101130
375.	303 Virginia Avenue	1951	Non-Contributor	34104010
376.	310 Virginia Avenue	1930	Contributor	34101140
377.	315 Virginia Avenue	1949	Contributor	34104250
378.	316 Virginia Avenue	1945	Contributor	34101150
379.	323 Virginia Avenue	1940	Contributor	34104260
380.	324 Virginia Avenue	1950	Non-Contributor	34101160
381.	332 Virginia Avenue	1929	Contributor	34101170
382.	335 Virginia Avenue	1927	Contributor	34103190
383.	338 Virginia Avenue	1949	Contributor	34101180
384.	343 Virginia Avenue	1931	Contributor	34103180
385.	344 Virginia Avenue	1932	Contributor	34101190
386.	352 Virginia Avenue	1932	Contributor	34101200
387.	360 Virginia Avenue	1951	Non-Contributor	34101210
388.	367 Virginia Avenue	1930	Contributor	34102010
389.	365 Virginia Avenue	1930	Contributor	34101220
390.	372 Virginia Avenue	1953	Non-Contributor	34101230
391.	375 Virginia Avenue	1933	Contributor	34102170
392.	380 Virginia Avenue	1948	Contributor	34101240
393.	385 Virginia Avenue	1947	Contributor	34192169
394.	400 Virginia Avenue	1948	Contributor	34071130
395.	407 Virginia Avenue	1951	Non-Contributor	34072120
396.	412 Virginia Avenue	1936	Contributor	34071140

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397.	417 Virginia Avenue	1940	Contributor	34072110
398.	418 Virginia Avenue	1936	Contributor	34071150
399.	419 Virginia Avenue	ca. 2010	Non-Contributor	34072100
400.	423 Virginia Avenue	1927	Contributor	34072090
401.	424 Virginia Avenue	1948	Contributor	34071160
402.	429 Virginia Avenue	1951	Non-Contributor	34072050
403.	432 Virginia Avenue	1958	Non-Contributor	34071170
404.	433 Virginia Avenue	1955	Non-Contributor	34072070
405.	440 Virginia Avenue	1937	Contributor	34071180
406.	444 Virginia Avenue	1950	Non-Contributor	34072090
407.	445 Virginia Avenue	1955	Non-Contributor	34072060
408.	448 Virginia Avenue	1940	Non-Contributor	34071200
409.	451 Virginia Avenue	1938	Contributor	34072050
410.	456 Virginia Avenue	1941	Contributor	34071210
411.	457 Virginia Avenue	1949	Contributor	34072040
412.	463 Virginia Avenue	1950	Non-Contributor	34072270
413.	464 Virginia Avenue	1952	Non-Contributor	34071220
414.	472 Virginia Avenue	1950	Non-Contributor	34071230
415.	475 Virginia Avenue	1949	Non-Contributor	34072010
416.	480 Virginia Avenue	1928	Contributor	34071240
417.	481 Virginia Avenue	1947	Contributor	34064070
418.	500 Virginia Avenue	1977	Contributor	34063090
419.	510 Virginia Avenue	1955	Non-Contributor	34063100
420.	511 Virginia Avenue	1948	Contributor	34064060
421.	517 Virginia Avenue	1949	Contributor	34064050
422.	520 Virginia Avenue	1929	Contributor	34063110
423.	525 Virginia Avenue	1939	Contributor	34064040
424.	526 Virginia Avenue	1928	Contributor	34063120
425.	531 Virginia Avenue	1948	Contributor	34064030
426.	532 Virginia Avenue	1928	Contributor	34063130
427.	537 Virginia Avenue	1950	Non-Contributor	34064020
428.	540 Virginia Avenue	1938	Contributor	34063140
429.	543 Virginia Avenue	1954	Non-Contributor	34064010
430.	544 Virginia Avenue	1939	Non-Contributor	34063150
431.	200 West 3 <sup>rd</sup> Avenue	1936	Contributor	34085070
432.	211 West 3 <sup>rd</sup> Avenue	1940	Contributor	34086010
433.	228 West 3 <sup>rd</sup> Avenue	1929	Contributor	34085080
434.	236 West 3 <sup>rd</sup> Avenue	ca. 2020	Non-Contributor	34085090
435.	244 West 3 <sup>rd</sup> Avenue	1936	Contributor	34085100
436.	247 West 3 <sup>rd</sup> Avenue	1947	Contributor	34084070

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437.	253 West 3 <sup>rd</sup> Avenue	1929	Contributor	34084060
438.	254 West 3 <sup>rd</sup> Avenue	1929	Contributor	34085110
439.	259 West 3 <sup>rd</sup> Avenue	1929	Contributor	34084050
440.	262 West 3 <sup>rd</sup> Avenue	1952	Non-Contributor	34085120
441.	263 West 3 <sup>rd</sup> Avenue	1927	Non-Contributor	34084040
442.	269 West 3 <sup>rd</sup> Avenue	1937	Contributor	34084050
443.	275 West 3 <sup>rd</sup> Avenue	1932	Contributor	34084020
444.	281 West 3 <sup>rd</sup> Avenue	1945	Contributor	34084010
445.	Crystal Springs Road Median	ca. 1927	Contributor	N/A
446.	West 3 <sup>rd</sup> Avenue Median	ca. 1927	Contributor	N/A
447.	Franklin Street and Fairfax Avenue Median	ca. 1927	Contributor	N/A
448.	Virginia and Georgetown Avenues Median	ca. 1927	Contributor	N/A
449.	Irving Street and Fairfax Avenue Median	ca. 1927	Contributor	N/A
450.	Nevada and Kentucky Avenues Median	ca. 1927	Contributor	N/A
451.	Alameda de las Pulgas and Parrott Drive Median	unknown	Non-Contributor	N/A
452.	Alameda de las Pulgas and Parrott Drive Median	unknown	Non-Contributor	N/A

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## 8. Statement of Significance

### Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B. Property is associated with the lives of persons significant in our past.
- C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D. Property has yielded, or is likely to yield, information important in prehistory or history.

### Criteria Considerations

(Mark "x" in all the boxes that apply.)

- A. Owned by a religious institution or used for religious purposes
- B. Removed from its original location
- C. A birthplace or grave
- D. A cemetery
- E. A reconstructed building, object, or structure
- F. A commemorative property
- G. Less than 50 years old or achieving significance within the past 50 years

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**Areas of Significance**

(Enter categories from instructions.)

COMMUNITY PLANNING AND DEVELOPMENT

ARCHITECTURE

**Period of Significance**

1927-1949

**Significant Dates**

1927

1949

**Significant Person**

(Complete only if Criterion B is marked above.)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Cultural Affiliation**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Architect/Builder**

Samuel Heiman

Ida F. McCain

Peter D. Canali

C.O. Clausen

William H. Toepke

E.H. Denke

George E. Ralph

Charles Frederick Strothoff

Grimes & Scott

Grimes & Schoening

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E.L. Norberg  
Angus McSweeney  
E.E. Cavasso  
Harris Allen  
Harold G. Stoner  
Thomas A. Cavanagh (builder and designer)  
Buschke & Johnson (builder)  
George Brothers (builder)  
E.S. Shaver (builder)  
William F. Klay (builder and designer)

**Statement of Significance Summary Paragraph** (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

The Baywood Historic District is eligible at the local level of significance under Criterion A for the area of community planning and development and at the local level of significance under Criterion C for its architecture.

The Baywood Historic District possesses significance under Criterion A as an excellent example of a commuter suburb of San Francisco that developed at a time when San Francisco Peninsula cities were attracting middle class and upper-middle class residents moving out of San Francisco. Baywood, and the city of San Mateo more generally, offered a suburban setting with natural beauty and open space within a quick commute of downtown San Francisco via streetcar. The subdivision was further made attractive due to its placement along California's first paved highway, El Camino Real, its walking distance from downtown San Mateo, and the opening of the San Mateo-Hayward Bridge in 1929, which drastically increased access to San Mateo and points in the East Bay and South Bay. Additionally, the establishment of Baywood through the purchase and redevelopment of the former Parrott estate was significant to the development of San Mateo as it opened up a large tract of land to the west of El Camino Real to future development and the expansion of the city.

Under Criterion C, the Baywood Historic District is significant as a representative example of an early- to mid-twentieth century residence park. Architecturally, the district contains an excellent collection of twentieth century revival and early modernist style buildings that demonstrate the popular architectural styles of the time. Many of the buildings were designed by locally and regionally important architects and builders and provide a superb grouping of these popular styles.

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The identified period of significance of the historic district is 1927 to 1949, beginning with the first platting of the subdivision for residential development and ending in 1949, when San Mateo's streetcar service was halted, marking the end of the area's growth as a streetcar suburb.

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**Narrative Statement of Significance** (Provide at least **one** paragraph for each area of significance.)

**Criterion A:**

Background: Growth of the Peninsula as the Suburbs of San Francisco

In the mid-1800s the Peninsula attracted wealthy San Francisco residents who established large estates with seasonal homes and country retreats. While towns and cities were established in pockets throughout the Peninsula and were supported by various industries including logging and cattle ranching, large swaths of the Peninsula were controlled by just a few landowners, making the large-scale development of the region difficult. As the first generation of these large-scale landowners died, and changing patterns of wealth made the next generation unable to sustain enormous acreages of country estates, the Peninsula began to see the slow subdivision of large estates as residential housing for the middle classes.

Since 1864, the San Francisco & San Jose Railroad Company had operated a train that stopped in San Mateo; however, it was an infrequent and expensive method of travel and was not a frequent transportation option for any except the very wealthy. By 1903, a streetcar line that ran from the San Francisco Ferry Building to downtown San Mateo was established that allowed for convenient, more frequent, and less expensive service.<sup>1</sup> The last San Mateo stop was at 3<sup>rd</sup> Avenue and B Street, located five blocks northeast of the Baywood Historic District.

This convenient transit connection allowed middle-class families to consider moving south of San Francisco. In towns like San Mateo, they could live in a more suburban environment but would still be within commuting distance of the city where the male head-of-household would still be able to retain an office job. The middle class was able to accomplish what the wealthiest citizens had defined as desirable in the half-century prior, and fittingly, it was on portions of the subdivided early estates that many of these middle-class subdivisions—like Baywood—were erected.

The earthquake and fires of April 1906, which devastated many neighborhoods in San Francisco, provided an impetus for many middle-class residents to relocate out of the city. While there was significant desire to relocate to the Peninsula, towns continued to grow slowly due primarily to ownership of most of the desirable land, located near transportation points, by these early estate

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<sup>1</sup> San Mateo County Historical Association. "Journey to Work: Pioneering Patterns of Growth." Accessed September 12, 2023. <https://historysmc.org/exhibits/journey-to-work/>

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holders. In San Mateo, the sale of the former Howard estate allowed for the creation of the San Mateo Park subdivision as early as 1903.

San Mateo exhibited a markedly similar pattern of growth to other Peninsula towns like Palo Alto, Burlingame, and Redwood City. In 1880, San Mateo had fewer than 1,000 residents. This nearly doubled over the next two decades, with around 1,800 in 1900, and then more than tripled with 5,979 residents by the 1920 census.<sup>2</sup> This burgeoning population growth from approximately 1906 to 1920 illustrates the increasing desire for housing along the Peninsula and demonstrates the market interest in establishing residential suburbs during the flourishing economic atmosphere of the 1920s.

Additional support for the population growth of San Mateo as a suburb of San Francisco came with the plan to establish the first highway system in California. California was a leading state in early car ownership with one car for every 28 Californians in 1913.<sup>3</sup> The paving of El Camino Real, which started in 1912, brought additional transportation infrastructure to the area and forged a closer connection between Bay Area cities and towns of the Peninsula. Early automobile infrastructure in the Bay Area continued to expand through the 1920s and 1930s with the opening of the seven-mile-long San Francisco Bay Toll Bridge (now the San Mateo-Hayward Bridge) in 1929, which was the longest bridge in the world at the time of its construction.<sup>4</sup> The San Mateo-Hayward Bridge was a catalyst in raising the profile of the City of San Mateo as a key location within the network of Bay Area transit.

These various factors: control of highly desirable and developable land in large estates, the growth of transportation connections between San Francisco and Peninsula towns, and the growing desire of the middle class to live in suburban locations, are all factors that led to the creation of Baywood subdivision in 1927, and spurred the growth and expansion of San Mateo in the 1920s and 1930s.

#### The Parrott Estate, 1859-1927

The area that would become the Baywood neighborhood, bounded by El Camino Real, Crystal Springs Road, Cemetery Lane (now Notre Dame Avenue), and the western hills of Hillsborough (approximately in line with the current boundary of San Mateo and Hillsborough) was home to the Parrott estate beginning in 1859. John Parrott was born in Virginia, established a successful career as a trader in Mexico, and came to San Francisco as a successful businessman in the 1850s. He became a banker, establishing the Parrott & Company bank, and built a residence in

<sup>2</sup> Bay Area Census, "City of San Mateo," Accessed September 13, 2023, <http://www.bayareacensus.ca.gov/cities/SanMateo50.htm#1940>

<sup>3</sup> Joan M. Levy, "San Mateo's Love Affair with the Automobile." *La Peninsula*. v. xli, n. 2. Spring 2013. San Mateo County Historical Association. Accessed September 12, 2023. <https://historysmc.org/wp-content/uploads/2020/08/La-Peninsula-Automobiles-Spring-2013.pdf>

<sup>4</sup> Federal Works Agency, San Francisco, the Bay and its Cities [American Guide Series]. (New York: Hastings House, 1947), 46.

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San Francisco. Parrott then created his country estate in San Mateo with an initial purchase of approximately 266 acres of land and subsequent additions that would encompass a total of 375 acres. The estate was previously a small piece of the 32,000-acre Alameda de las Pulgas grant, one of the large Spanish land grants of the eighteenth century. This small section that became Baywood had been owned by Frederick Macondray, a successful San Francisco merchant in shipping and trading. Macondray had established the estate, which he called “Brookside,” as a place of respite where he could recover from his poor health and asthma.<sup>5</sup>

When John Parrott purchased Brookside, it was to serve as a summer home and for ranching and raising thoroughbred horses. The Parrott family erected a Second Empire style mansion near the eastern edge of the property, set back from El Camino Real. The estate was renamed “Baywood” in reference to the numerous bay laurel trees on the property.

John Parrott died in 1884, and his wife Abby Eastman Macondray continued to live at Baywood until her death in 1917. Her death created the opportunity for the estate to be sold, developed, and/or divided. Due to the vast size of the San Mateo estate and the other land holdings of the family, the Parrott Estate Company was formed to allow for distribution and sale of assets by the Parrott family heirs.<sup>6</sup> The Parrott heirs appear to have briefly considered developing the San Mateo estate themselves. They hired Franz Herding, a Swiss-born architect and landscape architect, to draw up an initial plan for a mixed-use development called “Baywood Estates.” However, beyond initial sketches completed by Herding, no additional interest was expressed by the Parrott family to develop the land themselves.<sup>7</sup> In 1925, the sale of the land was underway, and the ultimate agreement that led to the residential development of Baywood was not finalized until February 1927. When finalized, the land purchase was announced as “one of the most important real estate deals in some years,” due to its vast size and its ability to spur development in the area of San Mateo, Hillsborough, and Burlingame.<sup>8</sup>

The sale of the Parrott Estate to the Dunn-Williams Company for one million dollars in 1927 was arranged in part through the efforts of D.A. “Doc” Raybould, who was a real estate developer in San Mateo and is considered a legendary local resident.<sup>9</sup> Raybould is credited with playing a key role in the growth of San Mateo in the 1920s and 1930s with the expansion of downtown to and south of 2<sup>nd</sup> Avenue, expansion of electrified rail service to downtown San Mateo in the late 1920s, and the establishment of residential developments along the eastern edge of San Mateo as

<sup>5</sup> Frederick William Macondray,” *Cypress Lawn Heritage Foundation*, Accessed October 13, 2023, <https://cypresslawnheritagefoundation.org/frederick-william-macondray/>

<sup>6</sup> “Parrott Estate Distribution in Part is Sought.” *Redwood City Tribune*, January 27, 1925. Parrott heirs consisted of 49 individuals. “Parrott Estate at Bay Sold for Million Dollars.” *The Fresno Bee*. February 15, 1927.

<sup>7</sup> Christian Taylor, *Building on the Hillside: Community Planner and Architect Franz Herding*. Thesis, University of Southern California. May 2015.

<sup>8</sup> “Rich Parrott Estate Sold.” *San Francisco Examiner*. February 15, 1927.

<sup>9</sup> “Rich Parrott Estate Sold.” *San Francisco Examiner*. February 15, 1927; “Mr. San Mateo: Doc Raybould,” *San Mateo Times*. October 16, 1965.

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the Bayshore Highway (now the location of U.S. 101) was constructed in San Mateo in 1929.<sup>10</sup> Some of the residential subdivisions in which Raybould was involved are the Bayshore Highway Tract, Peninsular Manor, the Howard Tract, and the Shore View Tract. While Raybould was not directly involved in the development of Baywood, his involvement in the initial real estate transaction demonstrates that Baywood was considered a major part of the overall approach to the long-term growth of the City of San Mateo.

#### Baywood as a Catalyst for the Growth of San Mateo

In the local press, Baywood was often discussed as a guaranteed success. While in part this can be explained by local pride and boosterism, it is important to note that the area was considered highly desirable due to the factors already mentioned of transportation (both public and private) and location. The Parrott estate's location on the doorstep of downtown San Mateo made it a clear choice for a dense subdivision. At the opening of Baywood in 1927, San Mateo Chamber of Commerce president Bruce Gibson stated:

[Baywood] is recognized as the most desirable residential property on the peninsula. The needs of San Mateo are apparent to any student of development. We are essentially a home community and our realtors and builders continue to sell home sites to San Francisco people. Eighty-five percent of our people are commuters to San Francisco. We desire more commuters; we desire more subdivisions. [...] It is obvious that San Francisco must grow down the peninsula. This is the logical direction for her expansion.<sup>11</sup>

The marketing of Baywood reiterated these points, stressing convenience for commuters, a healthy environment for families and children, natural beauty away from the city, and a safe stable investment for the future, since Baywood was in the heart of the progress transforming the Peninsula. A 1929 "Progress Edition" of the *San Mateo Times* was published on the eve of the opening of the San Mateo-Hayward Bridge (**Figure 10**). The Progress Edition celebrated the construction of this engineering feat and the other indicators of San Mateo's growth and prosperity, including the construction of attractive and desirable residential districts like Baywood.<sup>12</sup> Advertisements by the Baywood Park Company stressed the connection between the subdivision and the new bridge, which were located at opposite ends of 3<sup>rd</sup> Avenue.<sup>13</sup>

#### Restricted Housing at Baywood

While Baywood is historically significant in expanding the development of the city of San Mateo and as an excellent example of a commuter suburb of San Francisco, it is important to state that

<sup>10</sup> "Big S.M. Real Estate Deal Announced." *San Mateo Times*. March 23, 1928; "Gasoline Electric Cars Will be Placed in Service Here." *San Mateo Times*. August 9, 1928; "Mr. San Mateo: Doc Raybould," *San Mateo Times*. October 16, 1965.

<sup>11</sup> "Noted Estate Subdivided in Home Sites." *San Francisco Examiner*. April 30, 1927.

<sup>12</sup> "Progress Edition." *San Mateo Times*. March 1, 1929.

<sup>13</sup> "Baywood Last Year." Advertisement. *San Mateo Times*. March 1, 1929.

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residential housing developments like Baywood were “restricted,” ensuring that only white residents and homeowners, of preferred types, would be able to purchase and live within the subdivision. While some development companies would state a racially based restriction outright in advertising and newspaper coverage clarifying that properties were not available to Black, Asian, Jewish, Irish, and/or Italian residents, some would instead use coded language like “restricted,” to imply this condition. The restriction would then be described more explicitly in the deed for the property, called a “deed clause,” “deed restriction” or “restrictive covenant.”<sup>14</sup>

The Baywood Park Company kept the language used for advertising the subdivision largely free of coded language and omitted mention of deed restrictions and building requirements. The only explicit statement of Baywood as restricted was within an advertisement by George Brothers, builders, that states “Baywood: The Peninsula’s Most Restricted Resident Section” (**Figure 7**).<sup>15</sup> A review of Baywood’s historic property deeds found six standard restrictions primarily related to building design, setbacks, and uses (discussed in relation to Criterion C in the section immediately following), but also included a statement prohibiting the sale of property to any person of African or Asian descent, or anyone “not wholly of the Caucasian race.”<sup>16</sup> This race-based deed restriction was common to residential subdivisions of the early twentieth century.

Whether or not the Baywood Park Company was publicly transparent in its racial, ethnic, and religious exclusionary practices, the fact remains that Baywood was only open to middle and upper-middle class residents of a certain background. Development companies rationalized discrimination in a variety of ways: first, due to their belief that if racial minorities were allowed to buy or rent property, white residents might leave or choose not to invest, and second, that white-owned financial institutions would not invest in or support the financing of their subdivision as it would be perceived as a bad investment. In both cases, the result would be falling property values, disinvestment, and a loss of potential. These opinions were based in racial, ethnic, and economic prejudices held by conservative, white-owned institutions and businesses, and supported by white-led governments. Race-based deed restrictions have not been legal or enforceable since the United States Supreme Court’s decision in *Shelley v. Kraemer* (1948), the passage of the federal Fair Housing Act of 1968, and passage in California of the Unruh Civil Rights Act of 1959 and the Fair Employment and Housing Act of 1959.<sup>17</sup> However, these restrictions do remain extant in the text of many original deeds today, and are a direct result of the residential growth of the early to mid-twentieth century in the Bay Area. San Mateo County is undertaking a long-term work plan to begin to address and remove restrictive

<sup>14</sup> Richard Rothstein, *The Color of Law*. (New York: Liverwright Publishing Corporation, 2017), 78.

<sup>15</sup> Plant your Home where Values Grow.” Advertisement. *San Mateo Times*. June 2, 1928.

<sup>16</sup> San Mateo County Clerk-Recorder. Historic Deed, lot 3, block 8, Baywood, San Mateo County. 1928.

<sup>17</sup> County of San Mateo, “Restrictive Covenant Modifications,” *County Clerk-Recorder*, Accessed September 19, 2023, <https://smcacre.org/county-clerk-recorder/restrictive-covenant-modifications>; *Shelley v. Kraemer*, 334 U.S. 1 (1948).

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covenants from the County’s approximately twenty-five million official documents as a small way to redress this historic wrong.<sup>18</sup>

### Criterion C:

#### Subdivision of Baywood and Residence Park Design

The Dunn-Williams Company purchased the Parrott estate and then formed the Baywood Park Company to oversee the subdivision, development, marketing, and sale of Baywood residences. The subdivision was primarily referred to as “Baywood” but occasionally was also called “Baywood Park” in early newspaper coverage.

The survey of the Parrott estate was completed in March 1927, and the initial plans for laying out streets and parcels were intended to retain the established landscape to a high degree. Early press around the platting of street and parcels stressed the desire to retain the natural qualities of the landscape. A March 19, 1927 article in the *San Francisco Examiner* stated, “A board of experts will be called in to determine the minimum number of trees that will have to be sacrificed to conform to the final plan. Every effort will be made [...] to spare trees wherever that is possible. It is the opinion of landscape architects who are familiar with the Parrott property [...] that it has the finest private planting of trees and shrubs in this part of the country.”<sup>19</sup> By late 1927, the Baywood Park Company found that retaining all trees was more difficult than initially assumed, and they began relocating any trees that could be moved to better locations along the interior of blocks and away from roadways.<sup>20</sup> However, it was due in part to this acknowledgement of the significance of the landscape that the subdivision retained the name “Baywood.”

The significance of landscaping, “park-like qualities,” and a natural and healthful environment continued to be recurring themes in the early advertising and branding of Baywood. Advertisements and brochures by the Baywood Park Company were always surrounded by a wide floral border with ribbons that created brand recognition (**Figure 3**). Focus was frequently brought to Baywood’s numerous trees and safe, park-like environment that was ideal for children and families. One advertisement stated “Baywood: The Parrot Estate, San Mateo – Beautiful as Golden Gate Park” and continued with “Would you buy a residence site in Golden Gate Park if you were offered the chance? Of course you would! [...] Of course no one else can live in Golden Gate Park, but you can live in BAYWOOD, which has a kinship of beauty with San Francisco’s famous park.”<sup>21</sup> This repeated mention of the subdivision’s park-like setting reflects the then-popular approach of the “garden suburb” or “residence park” that enhanced the role of

<sup>18</sup> County of San Mateo, “Restrictive Covenant Modifications,” *County Clerk-Recorder*, <https://smcacre.org/county-clerk-recorder/restrictive-covenant-modifications>

<sup>19</sup> “Parrott Tract Survey Made.” *San Francisco Examiner*. March 19, 1927.

<sup>20</sup> “Retention of Tract Beauty is Firm’s Aim,” *San Francisco Examiner*. September 3, 1927.

<sup>21</sup> “Baywood” [advertisement]. *San Mateo Times*. July 28, 1928.

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nature in a residential setting. Through the laying out of streets with gently curving forms, the incorporation of trees and plantings, and the creation of traffic-calming circulation patterns, the residence park approach served to heighten the feeling that one was in fact in a park-like or garden-like suburban location and not within an urban residential area.<sup>22</sup>

Baywood's circulation pattern was laid out by an unknown engineering firm and features several traffic-calming techniques to ensure that through traffic is controlled and most streets are insulated from excessive vehicular traffic. The main streets that provide access to Baywood from downtown (West 3<sup>rd</sup>, West 4<sup>th</sup>, and West 5<sup>th</sup> Avenues) are quickly diverted either away from the heart of the residential area or are guided to Parrott Drive, which is the subdivision's widest street. No consistent grid is found within Baywood, and changes to the orientation of blocks, such as those along Harvard Road, Amherst Avenue, and Franklin Street, serve to further control access to sections of the neighborhood, or respond to the changing topography of the land itself, such as along Georgetown Avenue, Fordham Road, and Edinburgh Street. The inclusion of small triangular and rectangular traffic medians as places to provide additional landscaping, direct vehicular traffic, and provide protected pedestrian-oriented circulation, are also common features of the early twentieth century Residence Park design approach that were employed at Baywood.<sup>23</sup> Six of the original seven medians remain extant (resource numbers 445 to 450). The largest original traffic median was located in the middle of the intersection of Alameda de las Pulgas and Parrott Drive at the south border of the historic district and appears to have been originally installed as a grouping of three smaller medians before it was ultimately removed at an unknown date. Two non-historic and non-contributing medians are located at that intersection today (resource numbers 451 and 452).

While garden suburbs typically contain a small commercial district, no commercial area was set aside within Baywood, likely due to the presence of downtown San Mateo within an easy walk. In addition, the Baywood Park Company did have plans to develop a small commercial and office zone on one block at the intersection of El Camino Real and West 3<sup>rd</sup> Avenue.<sup>24</sup> While the Baywood Park Company proposed this change in 1929 and requested a zoning change along the west side of El Camino Real, significant local opposition prevented the project from moving forward and it was ultimately abandoned. Much of the opposition came from local merchants and businesses who believed that commercial uses should remain east of El Camino Real and that demand for additional commercial space was not high enough to warrant the expansion.<sup>25</sup> Opponents within Baywood also cited the developers promise that Baywood would remain an exclusive residential enclave and found that the adjacent downtown was close enough to meet the commercial needs of Baywood's residents. Early opposition to the creation of a commercial

<sup>22</sup> National Park Service. *National Register Bulletin 46: Historic Residential Suburbs, Guidelines for Evaluation and Documentation for the National Register of Historic Places*. September 2002. 41.

<sup>23</sup> National Park Service. *National Register Bulletin 46: Historic Residential Suburbs*. 42.

<sup>24</sup> "To our Friends and Neighbors—the Citizens of San Mateo." Advertisement. *San Mateo Times*. May 11, 1929.

<sup>25</sup> "Merchants Battle Rezoning Bill." *San Mateo Times*. May 8, 1929.

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zone ensured that the original Baywood subdivision continued to consist entirely of single-family residences, and further amplified its visual consistency and park-like setting. Other uses, including educational and religious uses, are located just outside the boundaries of the original portion of the subdivision to the south, and multi-family, office, and institutional uses are located to the north along El Camino Real.

### Residential Construction in Baywood

Lots within Baywood were available immediately and appear to have been purchased by builders who planned to build speculatively, individuals who were selecting a location to build a residence, and investors who purchased land for future resale or development.<sup>26</sup> Streets were graded and construction of roads began in June 1927, with residential construction beginning soon afterward.<sup>27</sup> Street names—with the exception of West 7<sup>th</sup> Avenue—were chosen from American colleges and universities.

Construction started on the first residence in Baywood in early June, and a brick Colonial Revival style building at 335 Virginia Avenue was the first to be completed in August (**Figure 5**). Approximately fourteen residences were completed by the end of 1927, and an additional forty-one homes were completed the following year.

As mentioned in the discussion of Criterion 1, the Baywood Park Company included several deed restrictions that controlled how the neighborhood was developed, what uses were allowed, and what design considerations were required to retain a cohesive character throughout Baywood. These restrictions included a prohibition against the development of any commercial use, and that no multi-family residential buildings, lodging houses, or hotels would be constructed within the subdivision, ensuring the single-family residential character of the area.<sup>28</sup> In addition, all buildings were required to be greater than \$7,500 in value of construction to ensure a level of design and build quality.<sup>29</sup> The retention of large lots was also ensured via a proviso that no parcel could be less than forty feet in width and parcels could not be subdivided unless the portion that was removed would be joined to the adjacent lot. Freestanding garage buildings were required to be set back from the principal street frontage of a property by at least forty feet, or at least ten feet from a side street. The lengthiest of the deed restrictions provided guidance for the deep setback of each property (no less than thirty-five feet from the street) and required that all proposed building plans be provided to and approved by a design review committee consisting of three individuals selected by the Baywood Park Company. These deed restrictions established design guidelines that formed the cohesive character of the subdivision

<sup>26</sup> “Contracts for Street Work in New Baywood Park Subdivision will be Awarded Soon, Announcement.” *San Mateo Times*. May 28, 1927.

<sup>27</sup> “First Houses Going Up on Parrott Site.” *San Francisco Examiner*. June 11, 1927.

<sup>28</sup> The restriction also included a specific restriction against any business engaged in the creation, sale, or distribution of alcohol.

<sup>29</sup> The \$7,500 amount increased in later years reflecting fluctuations in the market and inflation. “\$800,000 Baywood Park Company.” *San Francisco Examiner*. July 19, 1927.

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despite the work of dozens of designers, architects, and builders. The deep setback of thirty-five feet (from the curb) established the open, park-like quality of Baywood, and allowed for the integration of extensive landscaping as the norm.

Architects and builders who were well known for their work in San Francisco and along the Peninsula were active at Baywood. Contractors and builders were most frequently mentioned in newspaper articles about the newly constructed homes. A few of the most commonly mentioned builders in the early years of Baywood's development were Thomas A. Cavanagh, Buschke & Johnson, J.B. Oswald, and the George Brothers. Cavanagh, in particular, was very active in Baywood in its first few years and stated that he had constructed ten homes in Baywood within the first 12 months since home-building started.<sup>30</sup> While Cavanagh was often credited as designer and builder for the homes he erected in Baywood, many builders worked from drawings by prominent local architects.

A small grouping of five houses on Cornell Avenue was one of the first groups completed. All five houses, from number 460 to 514, were built by George Brothers builders.<sup>31</sup> At least one building of this grouping, 510 Cornell Avenue, was designed by Grimes & Scott (**Figure 8**).<sup>32</sup> The buildings represent the eclectic variety of architectural styles seen within the Baywood Historic District. This row of five buildings includes two Spanish Colonial Revival, two Tudor Revival, and a French Provincial/Tudor Revival style building (**Figure 9**). As is typical of the Baywood Historic District, each building offers a unique design, does not repeat the plan, arrangement, or features of the others, and enriches the greater architectural character of the district.

Architects known to have worked in Baywood include: Samuel Heiman, Ida F. McCain, Peter D. Canali, C.O. Clauson, William H. Toepke, E.H. Denke, George E. Ralph, Charles F. Strothoff, Grimes & Scott, Grimes & Schoening, E.L. Norberg, Angus McSweeney, E.E. Cavasso, Harris Allen, and Harold G. Stoner.<sup>33</sup> Many of these architects had offices in San Francisco and completed notable buildings in San Francisco and the greater Bay Area. Within the Baywood Historic District, the high quality of many of the residences demonstrates the pedigree and skill of these architects. Several of these architects are known to have been particularly active in residential design for the flourishing residential parks of San Francisco and the Peninsula, including Harold Stoner, Ida McCain, Samuel Heiman, Angus McSweeney, and Charles F. Strothoff.

<sup>30</sup> "New Home in Baywood Park by Cavanagh." *San Mateo Times*. June 30, 1928.

<sup>31</sup> "Baywood Beauties," *San Francisco Examiner*. January 19, 1929.

<sup>32</sup> "Quaint Normany [sic] Type Residence." *San Mateo Times*. July 14, 1928.

<sup>33</sup> Some names sourced from "Thirty Firms Now Building at Baywood." *San Francisco Chronicle*, January 12, 1929.

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Early newspaper coverage of the development of what would become the Baywood Historic District stated a general preference for Spanish Colonial Revival style design. However, there was no restriction related to the architectural styles that could be used. A preference for quality of materials, details, and design was paramount within Baywood, but the style of architecture preferred by a homeowner or architect could be flexible. It is for this reason that the Baywood Historic District is an excellent example of the variety and quality that could be created within an early to mid-twentieth century residential subdivision.

It is also notable that while the Baywood subdivision offered a variety of lot sizes and therefore supported the erection of more modestly sized residences, the overall quality of design and detailing remained consistent throughout the subdivision. While smaller homes were constructed on smaller lots, they generally featured the same level of quality as the subdivision's largest residences. More modestly sized examples of Spanish Colonial Revival or Tudor Revival residences throughout the district continued to employ the decorative wrought-iron work and tiling, or leaded glass and decorative shingle work, as the larger examples.

As residences were erected throughout the subdivision from 1927, the Baywood Historic District is highly varied in the mixture of architectural styles seen throughout the district. While there are some notable groupings where a single style was employed—such as the Spanish Colonial Revival style grouping at the south side of Georgetown Avenue west of Harvard Road—the overall effect is a vigorous mixture of the popular styles from 1927 to 1949.

Houses constructed through the end of the 1930s were generally constructed in the Period Revival styles (Colonial, Spanish Colonial, Tudor, etc.) and those constructed from the mid-1930s onwards are more typically in California Ranch or Minimal Traditional styles. In a handful of cases, there are residences constructed toward the end of and beyond the period of significance that were still being designed in Period Revival styles. This was likely an owner-driven choice to construct a building that felt consistent with the established character of Baywood and demonstrates the ability of the Baywood Historic District to preserve a strong sense of place and character despite changing tastes and passing time.

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**Previous documentation on file (NPS):**

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # \_\_\_\_\_
- recorded by Historic American Engineering Record # \_\_\_\_\_
- recorded by Historic American Landscape Survey # \_\_\_\_\_

**Primary location of additional data:**

- State Historic Preservation Office
  - Other State agency
  - Federal agency
  - Local government
  - University
  - Other
- Name of repository: \_\_\_\_\_

Historic Resources Survey Number (if assigned): \_\_\_\_\_

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### 10. Geographical Data

**Acreage of Property** approximately 115 acres

Use either the UTM system or latitude/longitude coordinates

#### Latitude/Longitude Coordinates

Datum if other than WGS84: \_\_\_\_\_

(enter coordinates to 6 decimal places)

- |                        |                        |
|------------------------|------------------------|
| 1. Latitude: 37.560583 | Longitude: -122.330728 |
| 2. Latitude: 37.560358 | Longitude: -122.329996 |
| 3. Latitude: 37.558940 | Longitude: -122.328617 |
| 4. Latitude: 37.558943 | Longitude: -122.328457 |
| 5. Latitude: 37.556505 | Longitude: -122.325617 |
| 6. Latitude: 37.552540 | Longitude: -122.330337 |
| 7. Latitude: 37.553589 | Longitude: -122.334375 |
| 8. Latitude: 37.553851 | Longitude: -122.334928 |
| 9. Latitude: 37.555277 | Longitude: -122.336274 |

#### Verbal Boundary Description (Describe the boundaries of the property.)

The boundaries of the Baywood Historic District relate to those areas subdivided within the City of San Mateo and the real property included within the boundaries of the map filed with the San Mateo County Office of the Assessor on May 16, 1927.

The boundaries of the Baywood Historic District correspond to the original boundaries of the subdivision and consist of the property bounded by a line beginning on the southern curblineline of Crystal Springs Road where it intersects with the western curblineline of Eaton Road, then extends southeasterly to the intersection of Eaton Road and Virginia Avenue, thence southerly along the western curblineline of Virginia Avenue until it intersects with West 5<sup>th</sup> Avenue, thence easterly along the southern curblineline of West 5<sup>th</sup> Avenue until a point that extends northerly from the

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eastern property line of the parcel at 253 Virginia Avenue, thence southerly in a straight line until it intersects with the northern curbline of Notre Dame Avenue, thence westerly along the northern curbline of Notre Dame Avenue until it intersects with the eastern curbline of Alameda de las Pulgas, thence northwesterly along the eastern curbline of Alameda de las Pulgas until it intersects with the southern curbline of the Crystal Springs Road, thence easterly along the southern curbline of Crystal Springs Road until the point of beginning.

**Boundary Justification** (Explain why the boundaries were selected.)

The boundaries of the historic district relate to the legal subdivision of the lots per the San Mateo County Office of the Assessor.

---

**11. Form Prepared By**

name/title: Barrett Reiter, Walker Shores, and Christina Dikas for the San Mateo Heritage Alliance

organization: Page & Turnbull, Inc.

street & number: 170 Maiden Lane, 4<sup>th</sup> Floor

city or town: San Francisco state: California zip code: 94108

e-mail: reiter@page-turnbull.com

telephone: 415-593-3223

date: October 16, 2023

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**Additional Documentation**

Submit the following items with the completed form:

- **Maps.** A **USGS map** or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

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**Map 1:** Latitude and longitude coordinate map of the boundaries of the Baywood Historic District.  
Created by Page & Turnbull.

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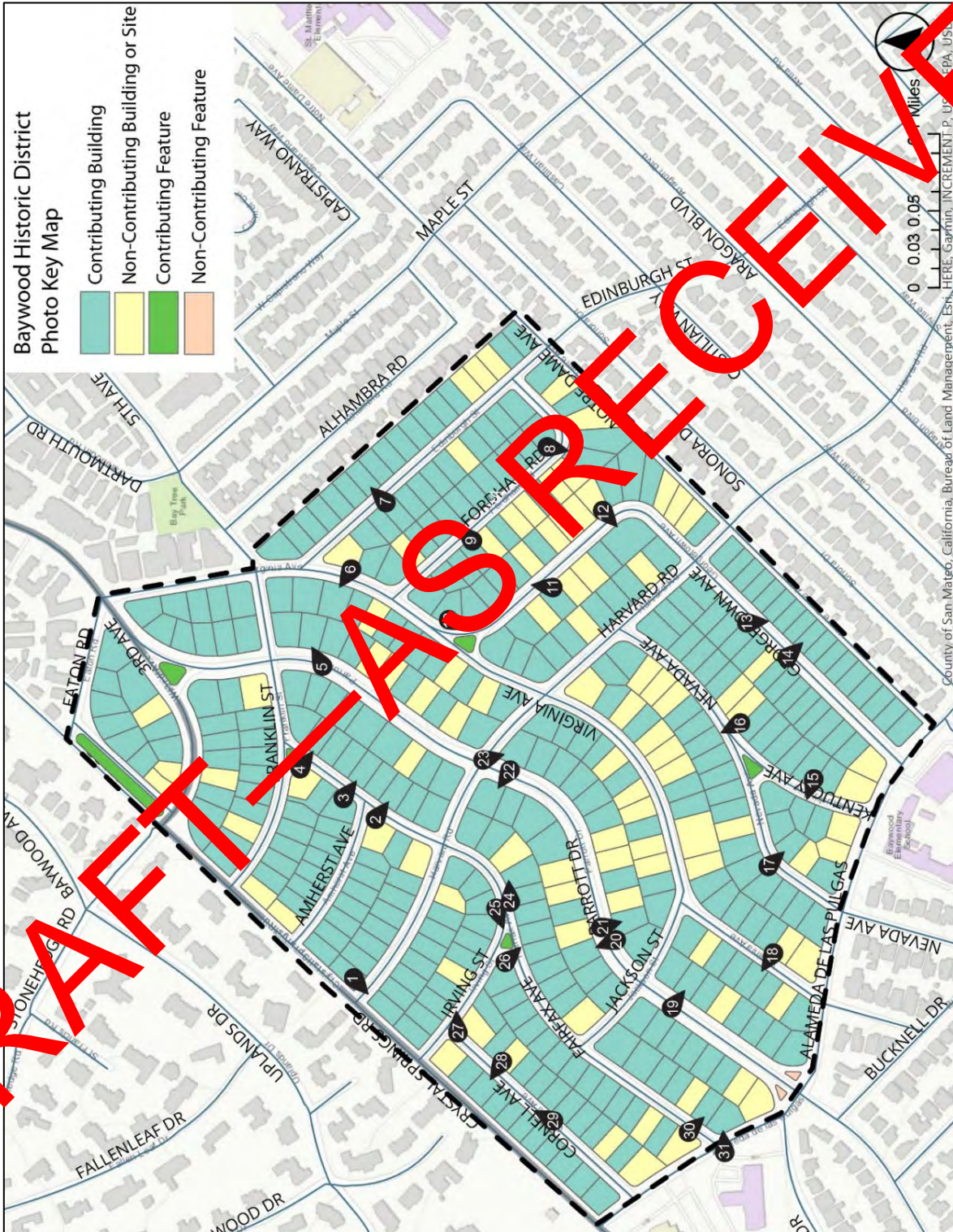
Map 2: Map of Contributing and Non-Contributing resources within the Baywood Historic District.  
Created by Page & Turnbull.

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**Map 3:** Key map of photograph locations within the Baywood Historic District.  
Created by Page & Turnbull.

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Figure 1: North portion of the subdivision map of Baywood as filed by the Baywood Park Company with the City of San Mateo in May 1927.

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Figure 2: South portion of the subdivision map of Baywood as filed by the Baywood Park Company with the City of San Mateo in May 1927.

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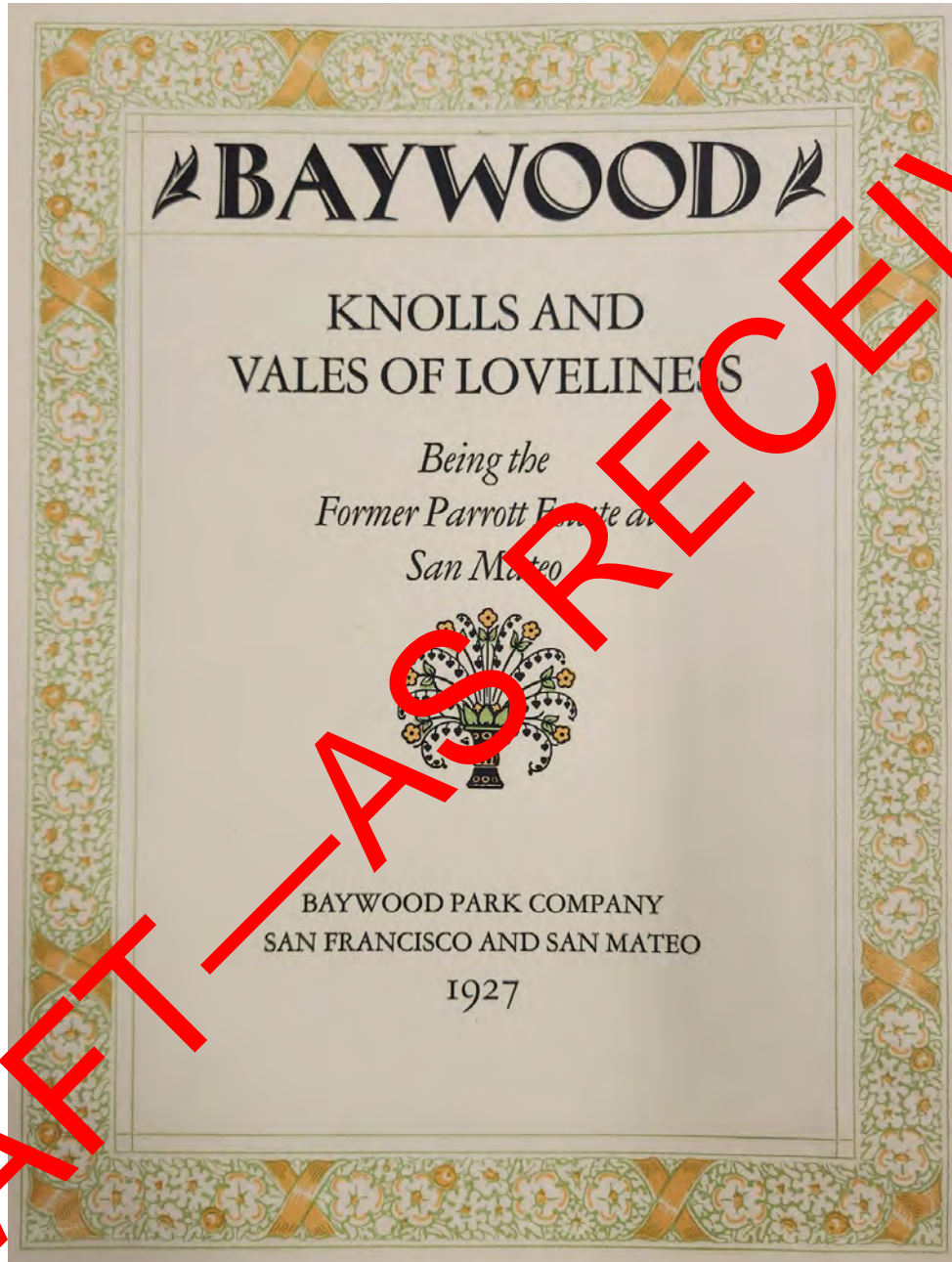


Figure 3: Baywood Park Company brochure with the floral and ribbon border used for all Baywood advertising, shown here in color. Courtesy of the San Mateo County Archives.

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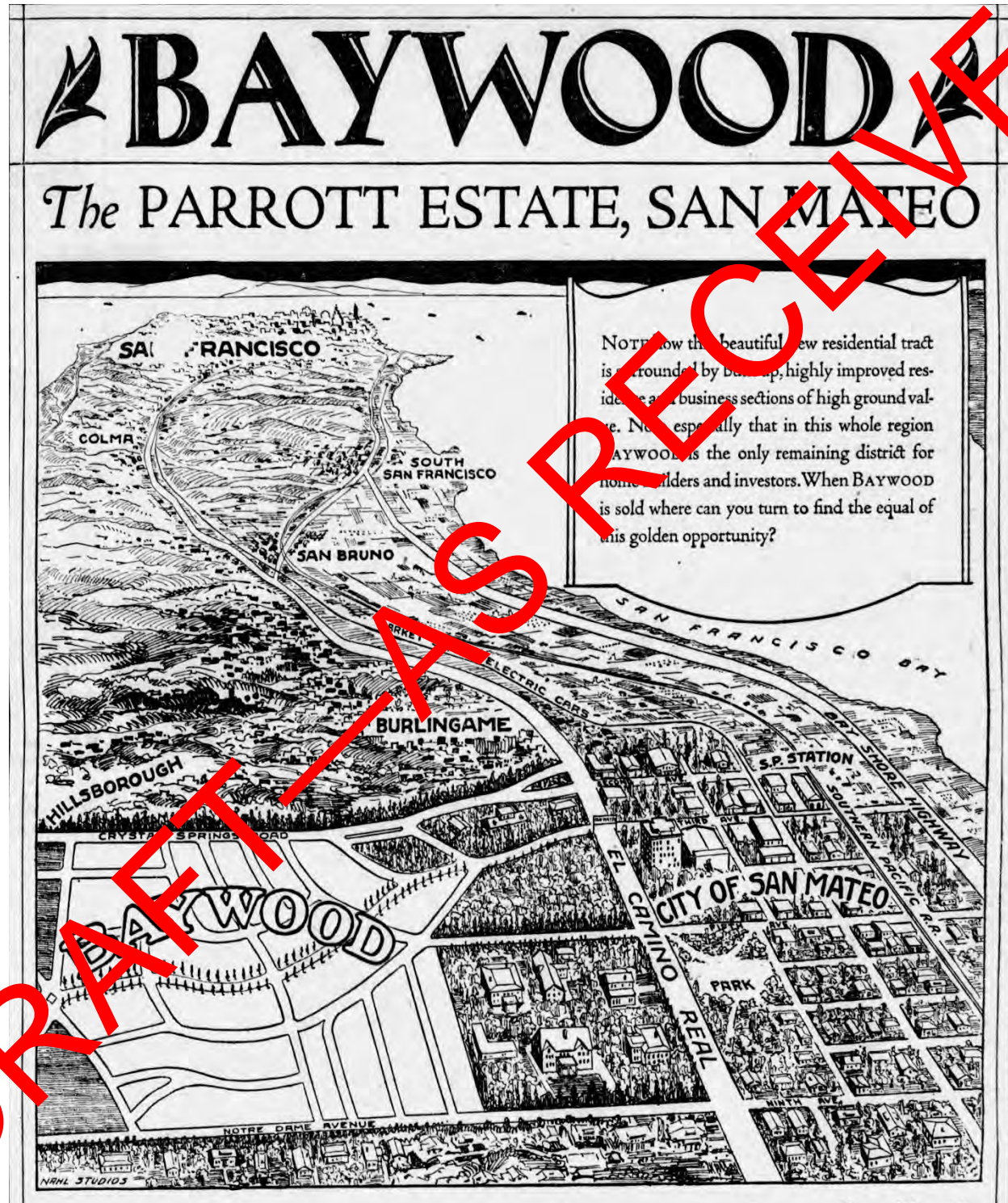


Figure 4: Map of the location of the Baywood Subdivision published in the *San Francisco Examiner*, May 7, 1927.

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Figure 5: The first residence to be completed in Baywood is located at 335 Virginia Avenue. It was nearly ready for occupancy when this photo was published in the *San Francisco Examiner* on August 27, 1927.

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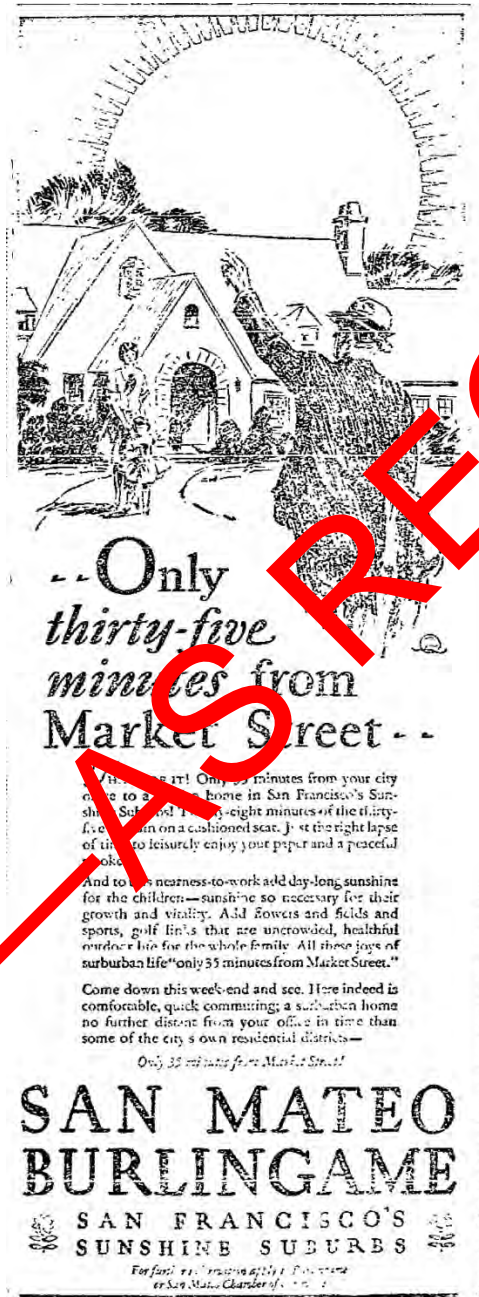


Figure 6: Advertisement for Baywood selling both the speed at which Downtown San Francisco could be reached from Baywood as well as the natural setting of the subdivision that supports the “growth and vitality” of children. *San Mateo Times*, March 3, 1928.

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**PLANT**  
*your Home*

*where VALUES grow*

IN  
**BAYWOOD**

The Peninsula's Most Restricted Resident Section

- 1—Close to San Mateo
- 2—Close to San Francisco
- 3—Beautiful View
- 4—An Ideal Homesite

Before You Buy Here See the Five New Homes Being Erected In the Tract By George Brothers.

**GEORGE BROTHERS**  
2040 16th Avenue San Francisco

Figure 1. Advertisement by the George Brothers, who were builders working in Baywood. Note the use of coded language "most restricted" to signal that owners and occupants of Baywood were white and the subdivision was not open to people of color. *San Mateo Times*, June 2, 1928.

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Figure 8: Grimes & Scott drawing of the residence to be constructed at 510 Cornell Avenue. *San Mateo Times*, July 14, 1928.

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## Baywood Beauties



**HOMES OF BEAUTY** in Baywood, San Mateo's select new residence district. Spanish Normandy, French, English and Spanish Californian houses are shown.

**Figure 9:** Buildings completed by January 1929 along Cornell Avenue. 514 Cornell Avenue is at far left and 460 Cornell Avenue is at far right. *San Francisco Examiner*, January 19, 1929.

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FRIDAY, MARCH 1, 1925 THE SAN MATEO TIMES AND DAILY NEWS LEADER Page 13


# BAYWOOD Last Year

THE FAMOUS OLD PARROTT ESTATE, SAN MATEO



# BAYWOOD Now!

(NOTE THE PHENOMENAL DEVELOPMENT IN ONE MONTH)



## The Peninsula's Most Select Residence District

**B**AYWOOD congratulates the City of San Mateo, San Mateo County and the entire Peninsula upon the opening of the transbay bridge. Baywood also congratulates the San Francisco Bay-Twin Bridge Company, through the ability and efficiency of whose organization this bridge, one of the most important traffic arteries in the State of California, has been completed far ahead of schedule. We congratulate Mr. Arthur Batty, Mr. Bert McMenimen, Mr. William Neuel, Captain Savage and their associates.

It is appropriate for many reasons to thus link Baywood with the new bridge, for these two projects are easily the most important developments in the recent history of San Mateo County. There is between them a direct physical connection, too, for Baywood is the western terminus of Third Avenue, while the bridge is at the eastern.

The bridge represents an investment of approximately \$7,500,000. Baywood, from the time this company began to develop the famous old Parrott Estate into the Peninsula's finest home subdivision, represents an approximate expenditure of \$3,000,000.

Both Baywood and the bridge mean much to the future of San Mateo, and the Peninsula as a whole. Both bring money to the community. Both bring increase in population, and both will be vitally important factors in the unprecedented era of prosperity, progress and development upon the threshold of which the Peninsula now stands.

Baywood offers to the homeseeker and the investor alike an opportunity that none can afford to overlook. We cordially invite every Californian to come to San Mateo to inspect the new bridge—a marvel of engineering genius—and at the same time visit Baywood, the incomparable.

HOMES FOR SALE COMPLETED — HOMESITES — BUILT-TO-ORDER HOMES

## BAYWOOD PARK COMPANY

EL CAMINO REAL AND THIRD AVENUE, SAN MATEO (WEST OF THE BRIDGE)

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**Figure 10:** Baywood advertisement showing one year’s worth of development within the district. “Progress Edition”  
*San Mateo Times*, March 1, 1929.



**Figure 11:** Detail of October 1951 aerial photograph of the Baywood Historic District (boundary indicated with dashed red line). Source: University of Santa Barbara FrameFinder, Flight: IMC-2027, Frame 6-9. Edited by Page & Turnbull.

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**Figure 12:** Detail of October 1951 aerial photograph of the Baywood Historic District (boundary indicated with dashed red line). Source: University of Santa Barbara FrameFinder, Flight: IMC-2027, Frame 7-9. Edited by Page & Turnbull.

### Photographs

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

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### Photo Log

Name of Property: Baywood Historic District

City or Vicinity: San Mateo

County: San Mateo

State: California

Photographer: Barrett Reiter and Walker Shores, Page & Turnbull

Date Photographed: April 2023

Description of Photograph(s) and number, include description of view indicating direction of camera:

1 of 31. 202 Harvard Road. Camera facing southwest.

2 of 31. 365 Fairfax Avenue. Camera facing southeast.

3 of 31. 351 Fairfax Avenue. Camera facing southeast.

4 of 31. 301 Fairfax Avenue. Camera facing southeast.

5 of 31. 311 Parrott Drive. Camera facing northeast.

6 of 31. 310 Virginia Avenue. Camera facing northwest.

7 of 31. 533 Edinburgh Street. Camera facing northeast.

8 of 31. 622 Fordham Road. Camera facing slightly southwest.

9 of 31. 575 Fordham Road. Camera facing northeast.

10 of 31. 365 Virginia Avenue with triangular median (resource number 448) at the intersection of Virginia and Georgetown avenues. Camera facing southwest.

11 of 31. 321 and 327 Georgetown Avenue. Camera facing north.

12 of 31. 362 Georgetown Avenue. Camera facing southwest.

13 of 31. 429 and 433 Georgetown Avenue. Camera facing south.

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- 14 of 31. 445 Georgetown Avenue. Camera facing southeast.
- 15 of 31. 520 Kentucky Avenue. Camera facing northwest.
- 16 of 31. 446 Nevada Avenue. Camera facing slightly northwest.
- 17 of 31. 531 Nevada Avenue. Camera facing southeast.
- 18 of 31. 532 Virginia Avenue. Camera facing northwest.
- 19 of 31. 511 Parrott Drive. Camera facing southeast.
- 20 of 31. 478 Parrott Drive. Camera facing north.
- 21 of 31. 471 Parrott Drive. Camera facing south.
- 22 of 31. 402 Parrott Drive. Camera facing northwest.
- 23 of 31. 401 Parrott Drive. Camera facing south.
- 24 of 31. 421 Fairfax Avenue. Camera facing east.
- 25 of 31. Intersection of Fairfax Avenue and Irving Street with triangular median (resource number 449) and 238 Irving Street in background. Camera facing west.
- 26 of 31. 439 Fairfax Avenue. Camera facing southeast.
- 27 of 31. View of Irving Street looking southeast along the north side of Irving Street. 223 Irving Street is on the left. Camera facing southeast.
- 28 of 31. 456 Cornell Avenue. Camera facing northwest.
- 29 of 31. 502 Cornell Avenue in foreground. Camera facing north.
- 30 of 31. 545 Fairfax Avenue. Camera facing southeast.
- 31 of 31. 551 Fairfax Avenue. Camera facing southeast.

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1 of 31. 202 Harvard Road. Camera facing southwest.



2 of 31. 365 Fairfax Avenue. Camera facing southeast.

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3 of 31. 351 Farmer Avenue. Camera facing southeast.



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4 of 31. 301 Fairfax Avenue. Camera facing southeast.



5 of 31. 311 Barnett Drive. Camera facing northeast.

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6 of 31. 310 Virginia Avenue. Camera facing northwest.

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7 of 31. 533 Edinborough Street. Camera facing northeast.



8 of 31. 622 Fordham Road. Camera facing slightly southwest.

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9 of 31. 525 Fortnam Road. Camera facing northeast.



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10 of 31. 365 Virginia Avenue with triangular median (resource number 448) at the intersection of Virginia and Georgetown avenues. Camera facing southwest.



11 of 31. 321 and 327 Georgetown Avenue. Camera facing north.

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12 of 31. 362 Georgetown Avenue. Camera facing southwest.



13 of 31. 429 and 433 Georgetown Avenue. Camera facing south.

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14 of 31. 445 Georgetown Avenue. Camera facing southeast.



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15 of 31. 520 Kentucky Avenue. Camera facing northwest.



16 of 31. 446 Nevada Avenue. Camera facing slightly northwest.

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17 of 31. 531 Nevada Avenue. Camera facing southeast.



18 of 31. 532 Virginia Avenue. Camera facing northwest.

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19 of 31. 511 Parrott Drive. Camera facing southeast.



20 of 31. 478 Parrott Drive. Camera facing north.

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21 of 31. 471 Parrott Drive. Camera facing south.

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22 of 31. 402 Parrott Drive. Camera facing northwest.



23 of 31. 401 Parrott Drive. Camera facing south.

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24 of 31. 421 Fairfax Avenue. Camera facing east.



25 of 31. Intersection of Fairfax Avenue and Irving Street with triangular median (resource number 449) and 238 Irving Street in background. Camera facing west.

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26 of 31. 439 Fairfax Avenue. Camera facing southeast.



27 of 31. View of Irving Street looking southeast along the north side of Irving Street. 223 Irving Street is on the left. Camera facing southeast.

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28 of 31. 456 Cornell Avenue. Camera facing northwest.



29 of 31. 502 Cornell Avenue in foreground. Camera facing north.

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30 of 31. 545 Fairfax Avenue Camera facing southeast.



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31 of 31. 551 Fairfax Avenue. Camera facing southeast.

**Paperwork Reduction Act Statement:** This information is being collected for nominations to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to conduct existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.). We may not conduct or sponsor and you are not required to respond to a collection of information unless it displays a currently valid OMB control number.

**Estimated Burden Statement:** Public reporting burden for each response using this form is estimated to be between the Tier 1 and Tier 4 levels with the estimate of the time for each tier as follows:

- Tier 1 – 60-100 hours
- Tier 2 – 120 hours
- Tier 3 – 230 hours
- Tier 4 – 280 hours

The above estimates include time for reviewing instructions, gathering and maintaining data, and preparing and transmitting nominations. Send comments regarding these estimates or any other aspect of the requirement(s) to the Service Information Collection Clearance Officer, National Park Service, 1200 Oakridge Drive Fort Collins, CO 80525.

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